



W- 3637 Griffith RD C-Store (Special Use Rezoning from RS9 to LB-S)

Bryce A. Stuart Municipal Building
100 East First Street, Suite 225
Winston-Salem, NC 27101
Fax: 336-748-3163

Phone: 336-747-7040

City of W-S Planning

Steve Boggs
BBE - Boggs Engineering, LLC
607 South Alexander Street
Suite 101
Plant City, FL 33563

Project Name: W- 3637 Griffith RD C-Store (Special Use Rezoning from RS9 to LB-S)
Jurisdiction: City of Winston-Salem
ProjectID: 1456826

Wednesday, November 20, 2024

The comments listed below reflect remaining issues that must be addressed before your request can proceed to the Planning Board. All outstanding issues included in this list must be satisfactorily addressed on the revised site plan and re-submitted back to Planning staff no later than 5:00pm on the Thursday two weeks before (14 days prior to) the Planning Board meeting.

Open Issues: 24

Engineering

General Issues

21. Commercial Infrastructure Permit Required

City of Winston-Salem-
Engineering
Craig Nursey
336-727-8000
craign@cityofws.org
11/7/24 1:58 PM
01.03a) PC Review - 4

- This development will require a City of Winston-Salem Commercial Infrastructure Permit (formerly Commercial Driveway Permit).
- Site must be designed and built in accordance with the most recent City of Winston Salem Infrastructure Development Standards and Water and Sewer Technical Specifications.
- Verify fire apparatus maneuverability through parking lot
- Sight Distance Triangles (SDT) shall be drawn from the back of curb on C&G streets and edge of pavement on ribbon pavement streets.
- Check with WSDOT regarding ROW dedication requirements.
- Check with WSDOT regarding sidewalk requirements.
- No footing, wall, or wall components will be allowed within the public R/W or public water, sewer or storm drainage easements.

Further detailed comments may be issued when more detailed plans are provided in future technical permitting process.

[[Ver. 2](#)] [Edited By Craig Nursey]

22. General comments

City of Winston-Salem-
Engineering
Craig Nursey
336-727-8000
craign@cityofws.org
11/7/24 2:03 PM
01.03a) PC Review - 4

Provide 5' separation between edge of pavement and sidewalk on Burke Mill Road.

Erosion Control

General Issues

10. Grading/Erosion Control Permit and Erosion Control Plan needed

City of Winston-Salem
Matthew Osborne
336-462-7480
matthewo@cityofws.org
11/6/24 9:25 AM
01.03a) PC Review - 4

If the proposed project creates more than 10,000 sq. ft. of land disturbance, a Grading/Erosion Control Permit will be required prior to the start of work. In order to obtain this permit you must submit a professionally designed Erosion Control Plan along with an original signed/notarized Financial Responsibility/Ownership (FRO) form for review and approval. Please submit the plan through the electronic plan review portal as application type **04.02 Grading/Erosion Control Permit** at the following link: <https://winston-salem.idtplans.com/secure/>

Fire/Life Safety

General Issues

23. Approval Notes

City of Winston-Salem
(Fire)

Raven Byrd
336-747-7456

ravenb@cityofwsfire.org

11/8/24 2:26 PM

01.03a) PC Review - 4

These general notes apply to all projects. If there are any other concerns to be addressed as part of this review they will be noted as separate issues.

- Future construction plans shall indicate locations of fire hydrants (existing and proposed) to demonstrate compliance with fire code requirements and City development standards.
- Fire apparatus access shall comply with the requirements below and **shall extend to within 150 feet all portions of the exterior walls of the building** as measured by an approved route around the exterior of the building or facility. This can be extended to 200 feet for sprinklered buildings.
- Ensure fire apparatus access roads are designed, built and maintained in compliance with fire code requirements. These requirements include but are not limited to the following items:
 - Must carry an imposed load of not less than 75,000 pounds;
 - Clear width requirements of not less than 20 feet for two-way traffic;
 - Clear height requirements of not less than 13 feet, 6 inches;
 - Approved turnaround required for fire apparatus access roads when the dead-end length of the required access road is more than 150 feet.
 - Gates may not obstruct fire apparatus access roads unless approved by the Winston-Salem Fire Department; approval requires compliance with all applicable fire code requirements.
- For those buildings on this site that are equipped with sprinkler or standpipe systems, indicate the location of each FDC; FDC must be located within 100 feet from a fire hydrant.
- Buildings constructed on site must comply with all applicable NC Building Codes

MapForsyth Addressing Team

General Issues

27. Addressing & Street Naming

Forsyth County
Government

Gloria Alford
3367032337

alfordgd@forsyth.cc

11/15/24 4:33 PM

01.03a) PC Review - 4

3398 Burke Mill Rd

Planning

[Interdepartmental Review .pdf \[1 redline\]](#) (Page 1) [1] 06-SITE

28. Text Box B

Forsyth County
Government

Gloria Alford
3367032337

alfordgd@forsyth.cc

11/15/24 4:33 PM

01.03a) PC Review - 4

3398 Burke Mill Rd

General Issues

19. Historic Resources

City of Winston-Salem No comments
Heather Bratland
336-727-8000
heatherb@cityofws.org
11/6/24 2:22 PM
01.03a) PC Review - 4

20. Community Appearance Commission

City of Winston- No comment
Salem/Forsyth County
Daniel Rankin
336-747-6835
danielr@cityofws.org
11/6/24 6:29 PM
01.03a) PC Review - 4

24. Environmental Features/Greenways

City of Winston-Salem Greenways: N/A
Amy Crum Wetlands: N/A
336-747-7051 VAD/Farmland: N/A
amyc@cityofws.org Natural Heritage Site: N/A
11/13/24 12:38 PM
01.03a) PC Review - 4

25. CPACC

CPACC TEAM

DOCKET NUMBER: W-3637 (Griffith Road Convenience Store)

CONFORMITY TO PLANS

Growth Management Plan Area (*Legacy*): 3 Suburban Neighborhoods

Relevant Comprehensive Plan Recommendation(s) for or against proposal:

Approve appropriate commercial development at select nodes (p. 38).

Encourage both residential and nonresidential infill development/redevelopment versus Greenfield development (p. 53).

Promote new, convenient, commercial, and business services to support neighborhood needs (p. 179).

Protect residential areas from inappropriate commercial and industrial encroachment (p. 42).

Promote the use of moderate-density residential and office as transitional uses between intense business and residential uses (p. 54)

Discourage inappropriate commercial encroachment into neighborhoods (p. 57).

Area Plan/Development Guide: Southwest Suburban Update (2015)

Relevant Development Guide Recommendation(s) in favor of proposal: None.

Relevant Development Guide Recommendation(s) against proposal:

The subject property is shown for low-density attached residential use on Map 6-Proposed Land Use (p. 25).

Low-density attached residential development has a density of up to eight (8) dwelling units per acre. Generally, low-density attached residential land use is recommended for sites greater than two acres that are most appropriately developed with multifamily, townhouses, duplex, triplex, or quad units. Low-density attached residential is recommended for interspersed use along both sides of Griffith Road between Burke Mill Road and Snead Road (pp. 20-21).

Growth Corridor: N/A

Activity Center: N/A

COMMUNITY DEVELOPMENT

Certified Area/Name: N/A

Type of Certification: N/A

Redevelopment Recommendation(s): N/A

30. Conditions

- Screening with an opaque fence to the south and east

- One freestanding sign; 6' max ht. and 36 sq. ft. in area

- Type I Bufferyard along Griffith Road and Burke Mill Road instead of 10' Streetyard

- Pedestrian connection to Griffith Road

31. Neighborhood Outreach

City of Winston-Salem
Nick Smith
336-747-7064
nicks@cityofws.org
11/20/24 9:07 AM
01.03a) PC Review - 4

UDO Section 3.2.19.A.7 - Neighborhood Meeting/Outreach

A neighborhood meeting/neighborhood outreach shall be required for all rezoning requests when any portion of the subject property is located within five hundred (500) feet of residential zoning. All measurements shall be made by drawing a straight line from the nearest point of the lot line for the subject property to the residential zoning line.

- **Meeting/Outreach:** The applicant shall conduct a neighborhood meeting or another appropriate form of neighborhood outreach. Examples of acceptable forms of neighborhood outreach include, but are not limited to, mailing informational letters, going door-to-door, or distributing flyers.
- **Written Summary:**
 - The applicant shall provide a written summary (email is an acceptable form) to Planning staff that provides a detailed explanation of the neighborhood meeting/neighborhood outreach.
 - The written summary shall describe the scope of outreach along with the issues discussed and any outcomes agreed upon as a result of the outreach. Then written summary shall be provided to Planning staff at least eight (8) days prior to the date of the Planning Board meeting for which the subject rezoning is scheduled.
- **Automatic Continuance:** If the applicant fails to provide the required written summary to Planning staff at least eight (8) days prior to the date of the Planning Board meeting for which the subject rezoning is scheduled, the subject request shall be automatically continued to the next scheduled Planning Board public hearing meeting.

The Written Summary of the Neighborhood Meeting/Outreach is due to the rezoning case manager via email by the "Community Outreach Deadline" on the Calendar of Significant Dates, located

here: <https://www.cityofws.org/1564/Monthly-Planning-Board-Items>

Please contact either of the following Principal Planners if you have any comments, questions, or concerns:

- **Marc Allred (Commercial) - marca@cityofws.org - 336-747-7069**
- **Bryan Wilson (Residential) - bryandw@cityofws.org - 336-747-7042**

33. Dumpster Variance

City of Winston-Salem
Marc Allred
336-727-8000
marca@cityofws.org
11/20/24 11:30 AM
01.03a) PC Review - 4

A variance is not allowed for the 50' dumpster setback.

Stormwater

General Issues

32. Stormwater Permit Required

City of Winston-Salem

Joe Fogarty

336-747-6961

josephf@cityofws.org

11/20/24 9:11 AM

01.03a) PC Review - 4

This development will be required to apply for and be issued with a Post Construction Stormwater Management permit that shows compliance with the City of Winston-Salem's Post Construction Stormwater Management ordinance provisions.

The plan states that the proposed impervious percentage will be 70.99%. This exceeds 24% and thus the development will be considered a high density development in terms of the water quality provisions of the ordinance. High density developments must capture and treat the first inch of runoff in an approved stormwater management system.

The water quantity provisions apply once more than 20,000 sq.ft. of new impervious area is created by a development. The existing impervious area is not stated on the plan as far as I can tell and therefore I'm not 100% sure at this point of the "net increase". However, I'm assuming you will exceed 20,000 sq.ft based on what I see from the existing aerial photography which shows a relatively small amount of existing impervious area on the property. These quantity provisions require that the post developed peak runoff rates from the 2, 10 and 25 year storm events of minimum 6 hour duration be managed in an approved stormwater management system, to at, or below, the pre development rates and also that the increase in the pre to post developed 25 year volume be stored in the system and this volume released over a 2 to 5 day period.

Your plan is showing one "Underground Stormwater System" which I'm assuming will be adequate to meet these quality and quantity provisions. While the type of Stormwater System is not specified I'm assuming for now that this will be designed as a "primary treatment SCM" as listed in the NCDEQ Stormwater Design Manual to get credit for water quality treatment so you want to ensure it is a primary device as you move forward with your design.

As part of the stormwater management permitting process the developer will be required to have an Operation and Maintenance Agreement approved by the City and once approved recorded at The Forsyth County Register of Deeds office. We will also require the developer to provide the City with a financial disclosure statement that states they will set aside, within 5 years of the stormwater management systems construction, funds that equal 10% of the estimated construction cost of the system in an account that they own and operate and that is used exclusively for the operation and maintenance of the system.

Utilities

General Issues

26. General Comments

City of Winston-Salem

Chris Jones

336-747-7499

charlesj@cityofws.org

11/15/24 5:26 AM

01.03a) PC Review - 4

Any existing connections not intended for reuse must be terminated at the main. A 4" water feeder line will require at least a 3" meter. The largest line you can use with the current meter is 1". A 6" sewer connection can only tie into a SSMH. All water connections will require a Reduced Pressure Assembly Backflow Preventer matching the meter size. If there are any commercial sinks in the store a minimum 1,000-gallon grease interceptor will be required.

WSDOT

General Issues

29. General

City of Winston-Salem

Robert Stone

336-727-8000

robertst@cityofws.org

11/19/24 3:35 PM

01.03a) PC Review - 4

- Review City of Winston-Salem IDS Manual to ensure all plans are developed in accordance with city standards and specifications.
- Provide 10' x 70' sight distance triangles from back of curb or edge of pavement at all driveway connections. Ensure no obstructions are inside sight distance triangles.
- Ensure all driveways and curb cuts not intended for use are terminated in accordance with city standards.
- Ensure all sidewalk within ROW have uniform profile and meet city standards.
- Dedicate necessary ROW to provide uniform sidewalk profile across entire property frontage of both Griffith Road and Burke Mill Road.
- Development will require Commercial Infrastructure Permit.

[Ver. 2] [Edited By Robert Stone]

Zoning

General Issues

11. Zoning Plan Review

City of Winston-Salem

Nick Smith

336-747-7064

nicks@cityofws.org

11/6/24 10:28 AM

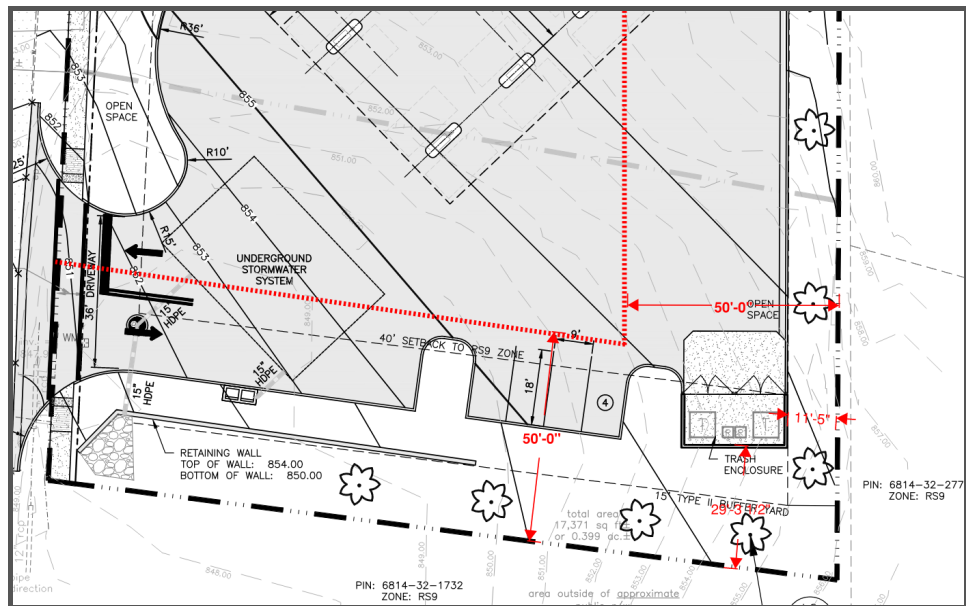
01.03a) PC Review -

4

UDO Section 4.1.4.C.4

All air handling machinery, dumpsters, compressors, or water coolers for nonresidential uses shall be set back a minimum distance of fifty (50) feet from any property line adjacent to residential uses or residentially zoned land.

The dumpster will need to be moved somewhere else on site.



12. Zoning Plan Review

Parking Requirements (Convenience Store use)

Parking: 1 space per 225 SF GFA; restaurant area including seating area inside or outside of the building— 1 space per 100 SF GFA

3,375 SqFt building / 225 = 15 required parking spaces

1,050 Sqft of outdoor seating area / 100 = 10.5 required parking spaces = 11 required parking spaces

26 total parking spaces required. 26 parking spaces provided.

- The parking spaces located under the gas canopy do not count, unless you can show how those parking spaces meet the dimensional requirements and drive aisle requirements for parking spaces.
- If you intend to use UDO Section 6.1.5, Parking Alternatives and Incentives to reduce your parking load, let staff know, and we'll work on potential solutions.

Bicycles: 1 space per 5,000 SF GFA, 2 space minimum, 20 space maximum.

4 Bicycle Spaces are provided

- The current location of the bike racks will cause parked bikes to cover the sidewalk and impede pedestrian flow. Provide slightly move space for the bike racks to ensure that the pedestrian sidewalk is not encroached upon.
- Providing double the number of required parking spaces is a parking incentives under UDO Section 6.1.5, granting a 5% reduction of required parking spaces.

[Ver. 2] [Edited By Nick Smith]

13. UDO 06.1 - Off-Street Parking & Loading**Section 6.1.3: Design Standards for Parking Areas****A. General Requirements**

All parking areas shall meet the following design standards:

1. [Unobstructed Movement](#)
2. [Access](#)
3. [Maneuvering Area](#)
4. [Internal Circulation](#)
5. [Pedestrian Walkways](#)
 - **Applicability**
 - The following provisions shall apply to **all new development with parking lots** (or expansions, replacements or redevelopments of ten thousand (10,000) square feet or greater of building area), in the RSQ, RM-5, RM-8, RM-12, RM-18, RM-U, MH, NO, LO, CPO, GO, NB, PB, **LB**, NSB, HB, GB, CB, MRB-S, IP, C, or MU-S zoning districts.
 - N/A.
 - **Pedestrian Walkway:** All of these developments, when located with vehicular access onto a street classified as a sidewalk-designated collector, minor thoroughfare or major thoroughfare, shall provide a physically separated and unobstructed paved pedestrian walkway a minimum of five (5) feet in width between a principal building entrance and each sidewalk-designated public street.
 - **A pedestrian connection to Burke Mill is currently proposed.**
 - **However, a direct pedestrian connection to Griffith Road is also**

required.

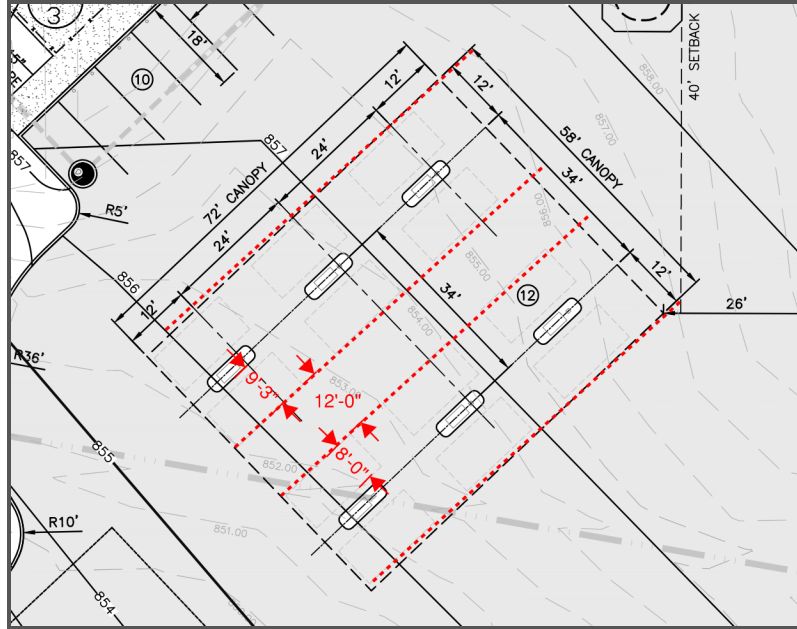
- **Waivers**

- No waivers apply to this project.

B. Dimensional Requirements

1. Generally

- All parking areas shall be designed and constructed to meet minimum parking space dimensions, aisle dimensions, and other standards shown in Table 6.1.3B, Parking Dimensions, and Figure 6.1.3B.1, Parking Dimensions.
- All parking dimensional requirements are currently being met.
- The drive aisle underneath the gas canopy needs to be demarcated and be 12' wide. See below:



C. Parking Surfaces

Site plan meets requirements

D. Markings and Traffic Control Devices

1. Delineation: The property owner shall delineate all required parking and loading spaces, specialized spaces, stacking lanes, disabled parking spaces, directional arrows, crosswalks, and maneuvering areas within parking areas using high contrast markings or other methods approved by the Director of Planning and Development Services, or a designee.
2. Signage: The Director of Planning and Development Services, or a designee, may require a developer to install signage in addition to directional arrows to ensure the safe and efficient flow of vehicles in a parking area or structure.

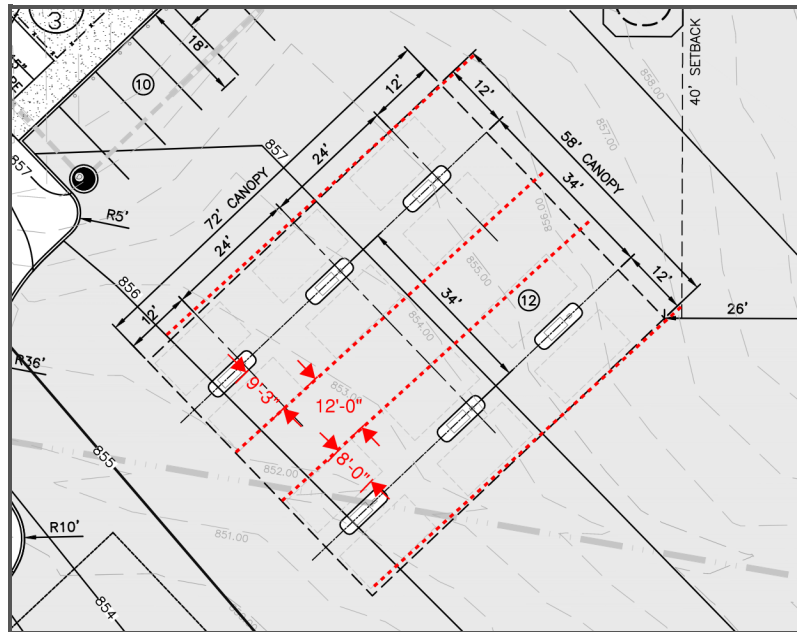
E. Driveways

- Site plan meets requirements

F. Drive-Through Facility Stacking Lanes

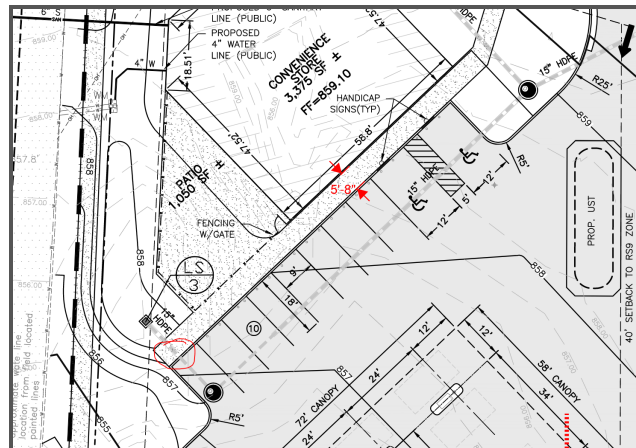
- In consultation with the Deputy Director, we will be counting the gas canopy parking spaces as "Drive-Through Facility Stacking Lanes" in the UDO. Stacking lanes requires that "Each lane of stacking space shall be a minimum of nine (9) feet in width

and must be delineated with pavement markings." Please delineate the gas canopy parking spaces in a manner of your choosing to show a clear separation between the gas canopy spaces and the drive aisles surrounding them. A general idea is shown below:



G. Parking Adjacent to Sidewalks

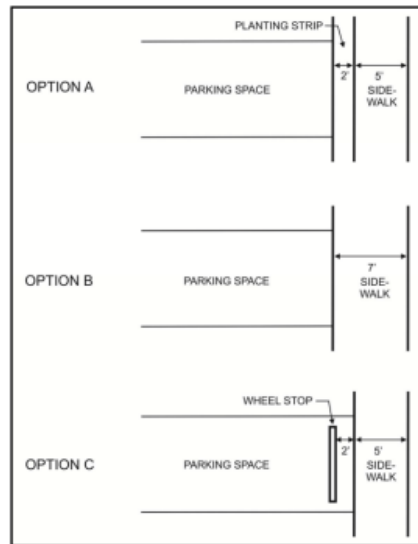
- Where parking abuts a sidewalk, one (1) of the sidewalk treatment options in Table 6.1.3G shall be met (see Figure 6.1.3G below).
 - **Sidewalks are 5'8" wide; however, bollards are provided on site plan.**
 - **Sidewalk treatment is needed here:**



- All wheel stops shall be two (2) feet from the front end of the parking space for front-end parking and four (4) feet from the front of the parking space for rear-end parking.
 - **?Bollards need to be 2' from the curb**

TABLE 6.1.3.G: SIDEWALK TREATMENTS

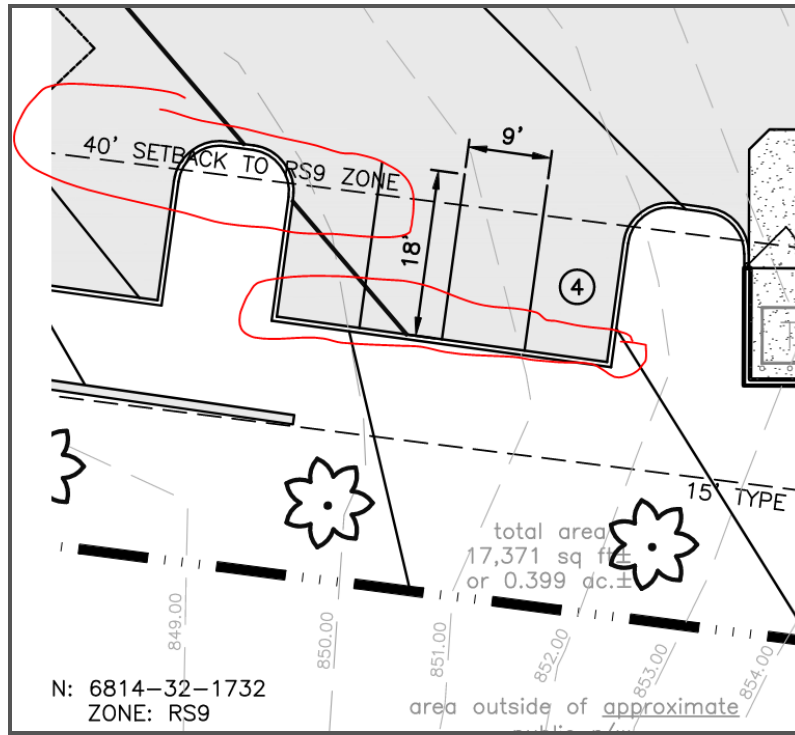
SIDEWALK TREATMENT	MINIMUM SIDEWALK WIDTH (FT.)
Option A: (Minimum 2 foot wide planting strip)	5
Option B: (Curb or No Wheel Stop)	7
Option C : (Wheel Stop with 2 foot separation from sidewalk)	5

FIGURE 6.1.3.G: SIDEWALK TREATMENTS

H. Parking in Required Yards

A parking area may be located in a required yard provided that wheel stops are installed and maintained to protect required screening.

The following parking spaces are located within the 40' setback. Required setbacks create required yards.



I. Landscaping and Screening

All motor vehicle surface areas shall be landscaped as required in Section 6.2.2, Landscaping Standards – Forsyth County, and Section 6.2.1, Landscaping and Tree Preservation Standards – Winston-Salem, and bufferyards shall be provided as required in Section 6.3, Bufferyard Standards.

J. Lighting

Any lighting in parking, stacking, and loading areas shall be so shielded as to cast no direct light upon adjacent properties or structures.

At the time of commercial permitting for this site, a Lighting Plan will be required. No light can encroach across property lines into residentially-zoned properties.

K. Drainage

All parking, stacking, and loading areas shall be designed to meet the requirements in Section 8.4, Erosion Control.

[Ver. 6] [Edited By Nick Smith]

14. Zoning Plan Review

Zoning Plan Review: Color-Coded Comments

- **Blue:** Definitions, Helpful Information, and/or Notes from Staff
- **Green:** Your proposal meets the requirements for this section of the Unified Development Ordinances.
- **Orange:** Due to an incomplete site plan or a lack of information, staff wants you to pay attention to this section of the Unified Development Ordinance and either consider how it could affect your project or apply it at a later date when it becomes relevant.
- **Red:** Your proposal does **not** meet the requirements for this section of the Unified Development Ordinances. **Red** comments will need to be addressed before staff can approve the project.
- Any "?" that seems out-of-place is a result of GeoCivix formatting issues. Staff will try to remove them as we see them; however, ignore any "?" that are incorrectly placed.

15. UDO 06.2.1 - Landscaping & Tree Preservation Standards, Winston-Salem

Section 6.2.1.D.2 - Streetyards

A landscaped streetyard shall be required for all motor vehicle surface areas located within one hundred (100) feet of a street right-of-way or vehicular right-of-way, including controlled access highways, whether or not it may provide access to the site, unless separated by an intervening building.

Streetyards are required along Burke Mill and Griffith. The 10' Streetyard width is shown on the site plan.

Additional details regarding the following standards are required and will need to be addressed both graphically on the site plan and textually within Site Data #16.

Streetyard Width

- Minimum streetyard width is ten (10) feet, and shall be measured perpendicular to the street right-of-way.
- The streetyard shall be positioned between the motor vehicle surface area and street right-of-way.
- N/A.

Streetyard Impervious Surface Cover

A maximum of fifteen percent (15%) of the required streetyard may be covered with impervious surface cover which may be used for walkways, fountains, walls, wall planters, or utility meters and vaults, but may not be used for motor vehicle surface or display, outdoor storage, private utility service, or service areas.

Number & Spacing of Trees

- All streetyards must contain at least one (1) tree.
- Each streetyard shall contain a minimum of two (2) deciduous or evergreen large variety trees per one hundred (100) linear feet, excluding points of motor vehicle ingress or egress.
 - **?Provide calculations about how many trees are required along each street frontage.**
- Required trees must be a minimum of eight (8) feet in height at installation and shall be at least two (2) inches in diameter measured six (6) inches above ground level.
- Where two (2) or more streetyard trees are required, all trees shall be planted

with the center of the main trunks twenty (20) to seventy-five (75) feet apart.

- Existing deciduous trees located in the abutting street right-of-way may be used to satisfy the distribution requirements in this section.
- Small or medium variety trees may be used where overhead utility lines exist in accordance with Section 6.2.1B.10, Overhead Utility Lines.

Other Streetyard Components

State which of these Other Streetyard Components you will use to satisfy UDO requirements.

In addition to required trees, the landowner or developer shall use one of the following, or a combination thereof, to satisfy streetyard requirements:

- **Natural Shrubs**

- Streetyard shrubs must be a minimum of eighteen (18) inches in height at installation, with a minimum height of thirty-six (36) inches within three (3) years after installation.
- Shrubs must be a locally adapted species which retain foliage to within six (6) inches above ground level.
- Shrubs shall be spaced no more than eighteen (18) inches, edge to edge.
- No more than thirty percent (30%) of streetyard shrubs shall be deciduous.

- **Fences & Walls**

- A streetyard fence or wall shall be a minimum of thirty-six (36) inches in height, opaque, and shall be constructed of masonry, stone, or wooden material, or of the same material as that of the principal building.

- **Wall Planters**

- A streetyard wall planter shall be constructed of masonry, stone, or other permanent material.
- At installation, the minimum combined height of wall planters and shrubs shall be twenty-four (24) inches.
- Within three (3) years after installation, the combined height of wall planters and shrubs shall be no less than thirty-six (36) inches.
- The effective planting width of a streetyard wall planter shall be no less than thirty-six (36) inches; however, where required streetyard trees are installed in wall planters, the effective planting width of the wall planters shall be no less than seven (7) feet.
- A minimum of one shrub shall be required for every five (5) square feet of wall planter area.

- **Earthen Berms**

- At installation, streetyard berms shall have a minimum height of eighteen (18) inches, a minimum crown width of two (2) feet, and a side slope with a width to height ratio of no greater than two (2) to one (2:1).
- The entire berm shall be planted and covered with live vegetation.
- Berm shrubs shall be a minimum of one foot in height at installation and shall be spaced no greater than eighteen (18) inches, edge to edge.
- Within three (3) years after installation, the combined height of berm and shrubs must be at least thirty-six (36) inches.
- Streetyard berms which are thirty-six (36) inches or greater in height at installation shall not be required to contain shrubs; however, streetyard trees shall still be required as specified in this section.

16. UDO 06.2.1 - Landscaping & Tree Preservation Standards, Winston-Salem

Section 6.2.1.D.3 - Interior Motor Vehicle Surface Area (MVSA) Plantings

In addition to the required streetyard, all motor vehicle surface areas shall contain landscaped planting areas, as follows:

Location of Plantings

Interior planting areas shall be located adjacent to motor vehicle surface area edges or within the interior as islands or medians, and may contain berms of the minimum dimensions specified in Section 6.2.1D.2.d.iv, Earthen Berms.

Size of Planting Areas

- Each planting area shall allocate a minimum of one hundred fifty (150) square feet per tree.
- Each planting area shall allocate a minimum of six hundred (600) square feet for each large variety tree.
 - ?Each large variety MVSA tree needs 600 SqFt of planting area. Ensure that enough planting area is provided.
- Each planting area shall allocate a minimum radius of seven (7) feet for each small or medium variety tree.
- Each large variety tree planted shall provide a seven hundred fifty (750) square foot credit towards the requirements of Section 6.2.1C, Tree Preservation and Planting.

Required Trees in Planting Area

- Each planting area shall contain at least one deciduous or evergreen large variety tree.
- The required deciduous or evergreen large variety tree for each planting area shall be a minimum height of eight (8) feet at the time of installation and shall have a minimum diameter of two (2) inches measured six (6) inches above ground level.
- Overhead Utility Lines: Small or medium variety trees may be used where overhead utility lines exist in accordance with Section 6.2.1B.10, Overhead Utility Lines.

Ratio

- One large variety tree shall be used for every five thousand (5,000) square feet of MVSA.
 - Vehicular Area of 30,973 SqFt per Site Data #10 requires 6.19=7 large variety trees. 9 large variety trees are provided as part of the Bufferyard.
 - However, these trees are not providing coverage for parking spaces, so some trees will need to either be relocated or added to meet MVSA requirements.
- Overhead Utility Lines: One small or medium variety deciduous or evergreen tree shall be required for every two thousand five hundred (2,500) square feet of MVSA where overhead utility lines exist in accordance with Section 6.2.1B.10, Overhead Utility Lines.
- One small variety tree with a minimum height of eight (8) feet at the time of installation and a minimum diameter of two (2) inches measured six (6) inches above ground level, and four (4) natural shrubs meeting the standards of Section 6.2.1D.2.d.i, Natural Shrubs, shall be required for every one hundred (100) square feet of planting area.
- Planting areas shall be at least five (5) feet wide, unless otherwise approved by

- the Director of Planning and Development Services, or a designee.
- Existing parking spaces removed to accommodate this landscaping requirement shall not be required to be replaced elsewhere on site.

Distance of Parking Spaces to Trees

- No parking space shall be located more than seventy-five (75) feet from the trunk of a required large variety tree
 - None of the parking spaces located near the building are covered by a large variety MVSA tree.
 - Since the under-canopy parking spaces are being counted at stacking spaces, they do not need MVSA tree radius coverage.
- Overhead Utility Lines:** Where overhead utility lines exist in accordance with Section 6.2.1B.10, Overhead Utility Lines, no parking space shall be located more than fifty (50) feet from the trunk of a required small or medium variety tree, unless otherwise authorized in this Ordinance.

Loading/Maneuvering Areas

For loading docks or other maneuvering areas where placement of trees in the interior of the site is impractical, the required number of trees may be clustered around the edge of such areas, with the approval of the Director of Planning and Development Services, or a designee.

Credit for Streetyard or Bufferyard Trees

Deciduous or broadleaf evergreen trees used as streetyard or bufferyard plantings may be used as credit toward interior planting area requirements, provided that streetyard or bufferyard plantings meet the size requirements of Section 6.3.3B, Design Requirements, and the distance requirements of Section 6.2.1D.3.e, Distance of Parking Spaces to Trees.

Credit for Bufferyard Area

The landscaped bufferyard area provided to meet the requirements of Section 6.3, Bufferyard Standards, and located adjacent to a motor vehicle use area may be counted toward the interior planting requirement.

[Ver. 2] [Edited By Nick Smith]

17. Zoning Plan Review

City of Winston-Salem

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11/6/24 11:33 AM

01.03a) PC Review - 4

Provide details regarding the screening for the dumpster, including fence/wall material, fence/wall height, and any landscaping at a minimum.

UDO Section 6.2.1.F details the dumpster screening requirements which will be verified at the time of commercial permitting.

18. Zoning Plan Review

Bufferyards for the Adjacent Residentially-zoned Properties

Subject Property is zoned LB (Low Intensity Commercial)

Adjacent properties are zoned RS9 (Single Family Residential)

When LIC is against SFR, the UDO requires a Type II Bufferyard, which is shown on the site plan. The site plan states that this will be a 15'-wide Type II Bufferyard.

On the site plan and under Site Data 15, there needs to be additional details provided regarding the amounts of deciduous trees, primary evergreen plants, and supplemental evergreen shrubs along both property lines, based on the length of the adjoining property lines.

TABLE 6.3.2.A.3: TYPE II BUFFERYARD	
Minimum Bufferyard Width	Minimum Plant Material per One Hundred (100) Linear Feet
15 feet	2 deciduous trees; 12 primary evergreen plants; 15 supplemental evergreen shrubs
20 feet	2 deciduous trees; 12 primary evergreen plants; 10 supplemental evergreen shrubs
40 feet	2 deciduous trees; 10 primary evergreen plants
100 feet	2 deciduous trees; 6 primary evergreen plants