



W-3599 Lillian A Evans & William Luther Dixon (Elm Grove)(Special Use Rezoning from RS9 and RM12-S to RM8-S)

Bryce A. Stuart Municipal Building
100 East First Street, Suite 225
Winston-Salem, NC 27101
Fax: 336-748-3163

Phone: 336-747-7040

City of W-S Planning

Stephen Owen
Stimmel Associates, PA
601 North Trade Street
Suite 200
Winston Salem, NC 27101

Project Name: W-3599 Lillian A Evans & William Luther Dixon (Elm Grove)(Special Use Rezoning from RS9 and RM12-S to RM8-S)

Jurisdiction: City of Winston-Salem
ProjectID: 1106102

Thursday, September 21, 2023

The comments listed below reflect remaining issues that must be addressed before your request can proceed to the Planning Board. All outstanding issues included in this list must be satisfactorily addressed on the revised site plan and re-submitted back to Planning staff no later than 5:00pm on the Thursday two weeks before (14 days prior to) the Planning Board meeting.

Open Issues: 23

Engineering

General Issues

16. General comments

City of Winston-Salem

Matthew Gantt

336-727-8000

matthewg@cityofws.org

9/7/23 8:52 AM

01.03) Rezoning-
Special Use District - 2

The following item is required for approval:

1. A City driveway permit would be required for the permanent connection to Old Salisbury Road and Davis Kathleen Lane. To obtain a driveway permit, complete and sign a City driveway permit application and submit it, along with a copy of the site plan to the Engineering Division for review. A review fee of \$200 is also required. All items may be submitted through IDT plans.

These following items are required for the detailed plan review:

2. Design calculations would be required for any proposed storm drainage systems. Calculations may be shown on the plan sheets in tabular form. If proposed storm drainage ties into an existing system within the right-of-way, a minimum Class III 15" RCP pipe must be used.

3. Construction details would need to be shown for storm drainage elements, wheelchair ramps, and dumpster pads. Please include construction detail V-13 from the City IDS Manual for a commercial driveway.

4. Please provide elevations for all proposed retaining walls. This would also include the retaining wall for the culvert under the access road off of Old Salisbury Road. Retaining walls greater than 10' in height must be approved by the Director of Stormwater Operations.

5. Final, sealed design plans and supporting design calculations are required for culvert that is proposed beneath the street off of Old Salisbury Road. Driveway permitting plans may not note culvert and retaining wall designs to be completed "by others". The types of pipe that would be proposed must conform to the requirements of the City IDS Manual.

6. Please provide 10' x 70' sight triangles for the exit point at Old Salisbury Road. Include driveway radii for that proposed driveway connection.

7. Please note the following items on the plan, (a) to contact the Engineering Field Office (EFO) at 336-727-8063 to set up inspections, prior to construction, (b) include phone numbers and email addresses for the engineer and project owner, and (c) that the driveway permit will expire one year from the date of issuance.

8. For final driveway permit approval, the final set of plans must be marked "FINAL – Released for Construction".

[Ver. 2] [Edited By Matthew Gantt]

Erosion Control

General Issues

12. Grading/Erosion Control Permit and Erosion Control Plan needed

City of Winston-Salem
Matthew Osborne
336-747-7453
matthewo@cityofws.org
9/6/23 11:36 AM
01.03) Rezoning-
Special Use District - 2

If the proposed project creates more than 10,000 sq. ft. of land disturbance, a Grading/Erosion Control Permit will be required prior to the start of work. In order to obtain this permit you must submit a professionally designed Erosion Control Plan along with an original signed/notarized Financial Responsibility/Ownership (FRO) form for review and approval. Please submit the plan through the electronic plan review portal as application type **04.02 Grading/Erosion Control Permit** at the following link: <https://winston-salem.idtplans.com/secure/>

13. Erosion Control Plan Review to NCDEQ - DEMLR

City of Winston-Salem
Matthew Osborne
336-747-7453
matthewo@cityofws.org
9/6/23 11:36 AM
01.03) Rezoning-
Special Use District - 2

If this project will use any public funds for financing and/or be constructed on public owned property, Erosion Control Plan approval will need to be completed through NCDEQ - DEMLR. The contact for NCDEQ - DEMLR at the Winston-Salem Regional Office is Tamera Eplin (336-776-9800).

Fire/Life Safety

General Issues

18. Sketch Plans and Site Plans

<p>Winston-Salem Fire Department Cory Lambert 336-747-7359</p>	<p>Future construction plans shall indicate locations of fire hydrants (existing and proposed) to demonstrate compliance with fire code requirements and City development standards.</p>
<p>coryml@cityofwsfire.org 9/12/23 9:02 AM 01.03) Rezoning-Special Use District - 2</p>	<p>For those buildings on this site that are equipped with sprinkler or standpipe systems, indicate the location of each FDC, ensuring no FDC is more than 100 feet from a fire hydrant.</p>
	<p>Ensure fire apparatus access roads are provided, designed, built and maintained in compliance with fire code requirements. These requirements include but are not limited to the following items:</p> <ul style="list-style-type: none"> • Design, construction and maintenance of fire apparatus access roads to carry an imposed load of not less than 75,000 pounds; • Clear width requirements of not less than 20 feet for two-way traffic; • Clear height requirements of not less than 13 feet, 6 inches; • Design, construction and maintenance of approved turnaround designs for fire apparatus access roads when the dead-end length of the required access road is more than 150 feet. • Gates may not obstruct fire apparatus access roads unless approved by the Winston-Salem Fire Department; approval requires compliance with all applicable fire code requirements. <p>As part of your construction plan submittal, include the calculations for needed fire flow for this project and indicate the approved method of calculation in use. Buildings that are equipped with sprinkler systems throughout are exempt from this requirement. Refer to Section 507 of the 2018 NC Fire Code for further information. Approved calculation methods include the following options:</p> <ul style="list-style-type: none"> • Appendix B of the 2018 NC Fire Code; or • the ISO Fire Suppression Rating Schedule (as described in https://www.isomitigation.com/siteassets/downloads/guide-determinerequiredfireflow.pdf). <p>Emergency responder radio coverage shall meet the requirements of Section 510 of the 2018 NC Fire Code for this project. Consider how these requirements, including any systems necessary to bring radio coverage into compliance with this section, may impact your plans.</p>

MapForsyth Addressing Team

General Issues

17. Addressing & Street Naming

<p>Forsyth County Government Gloria Alford 3367032337 alfordgd@forsyth.cc 9/20/23 8:37 AM 01.03) Rezoning-Special Use District - 2</p>	<p>You will need to pick another street type for Elm Grove, you can't use the word Place. The other road names on the plans are approved. [Ver. 2] [Edited By Gloria Alford]</p>
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NCDOT

General Issues

19. General Comments

NCDOT Division 9
Ashley Long
336-747-7900
amlong1@ncdot.gov
9/12/23 1:10 PM
01.03) Rezoning-
Special Use District - 2

- For any connections to a state maintained roadway, an NCDOT Driveway permit is required. Randy Ogburn is the primary point of contact – rogburn@ncdot.gov. We prefer that the driveway permit be submitted on our online portal, and shall consist of the permit application (form TEB-65-04) and a detailed site plan showing the access points. Review of the permit package will begin after receiving the application, site plan, and Construction Inspection Fee. The Construction Inspection Fee is payable by check, and is \$50 per driveway connection on an NCDOT maintained road.
- For the driveway permit, the driveway(s) must be designed in accordance with the July 2003 Policy on Street and Driveway Access to North Carolina Highways (aka Driveway Manual
- Left and right turn lanes are warranted.
- A standalone striping plan is required. This is basically a stripped-down version of the plans, showing the roadway, existing and proposed markings, and any proposed symbols. All taper lengths shall be dimensioned. In addition, the color, type of material, line widths, and thickness of the product should be specified.
- Street and driveway connections to the state maintained roadway shall provide for adequate vertical and horizontal sight distance. The minimum sight distance required is 100 feet per 10 mph of design speed.
- A 16.1B encroachment agreement would be required for road improvements.
- A 16.6 3-party encroachment agreement would be required for any utility ties (water and sewer) in the right of way, and sidewalk where applicable.
- All encroachment agreements should be submitted through the online portal.

Planning

[2023.08.28 Old Salisbury Presubmittal \(23-061\).pdf \[14 redlines\]](#) (Page 1)

4. Text Box B

[City of Winston-Salem](#) Are these areas individually owned or LCA?
Bryan Wilson
336-747-7042
bryandw@cityofws.org
8/30/23 9:29 AM
Pre-Submittal Workflow
- 1

[Stimmel Associates, PA](#) intent at this time is individual
Stephen Owen
(336)7231067
sowen@stimmelpa.com
9/5/23 9:50 AM
Pre-Submittal Workflow
- 1

General Issues

2. COUNCIL MEMBER CONTACT

City of Winston-Salem
Bryan Wilson
336-747-7042
bryandw@cityofws.org
8/30/23 9:20 AM
Pre-Submittal Workflow
- 1

Please ensure that you have contacted the appropriate Council Member and/or the Community Assistance Liaison for their office prior to the Planning Board Hearing. Be advised that Council Members may want to participate in any community outreach efforts . Information for each Council Member can be found on their website here:
<https://www.cityofws.org/564/City-Council>

Stimmel Associates,
PA
Stephen Owen
(336)7231067
sowen@stimmelpa.com
9/5/23 9:52 AM
Pre-Submittal Workflow
- 1

we have contacted and reviewed with CM

15. Historic Resources

City of Winston-Salem
Heather Bratland
336-727-8000
heatherb@cityofws.org
9/6/23 2:09 PM
01.03) Rezoning-
Special Use District - 2

No comments

29. CPAD

City of Winston-Salem
Matthew Burczyk
336-727-8000
mattbk@cityofws.org
9/14/23 10:27 AM
01.03) Rezoning-
Special Use District - 2

DOCKET NUMBER: W-3599 (Lillian A. Evans & William Luther Dixon – Elm Grove)

CONFORMITY TO PLANS

Growth Management Plan Area (Legacy): 3 Suburban Neighborhoods

Relevant Comprehensive Plan Recommendation(s) for or against proposal:

- For
 - Facilitate land use patterns that offer a variety of housing choices and convenient access to neighborhood shopping, schools, parks, and other services (page 42).
 - Promote land use compatibility through good design and create a healthy mix of land uses in proximity to one another. Move away from the separating and buffering of some land uses and toward transitioning and blending those uses (page 48).
 - Promote the use of moderate-density residential and office as transitional uses between intense business and residential uses (page 54).
- Against
 - Residents sometimes oppose street connections out of fear of increased traffic on their residential streets. Recognizing this, all parties involved in decision-making must fully understand the communitywide benefits of a highly connected transportation system (page 67).

Area Plan/Development Guide: South Suburban Area Plan (March 2018)

Relevant Development Guide Recommendation(s) in favor of proposal:

- Develop a variety of housing types for different income levels, family sizes, and personal preference (page 48).
- Incorporate traditional neighborhood design principles in proposed new neighborhood developments, where feasible. This could include a mixture of housing types, well-designed neighborhood-serving commercial areas, and incorporating walkability and connectivity in neighborhoods (page 48).
- Improve connectivity of neighborhood streets to improve accessibility within and between neighborhoods (page 48).

Relevant Development Guide Recommendation(s) against proposal:

- Single-family residential recommended for the parcels

Growth Corridor: No

Activity Center: No, but immediately adjacent to the Peters Creek Activity Center

30. Environmental Features/Greenways

City of Winston-Salem
Amy Crum
336-747-7051
amyc@cityofws.org
9/19/23 4:58 PM
01.03) Rezoning-
Special Use District - 2

Greenways: N/A

Wetlands: N/A

Farmland/VAD: N/A

Natural Heritage Site: N/A

31. CAC

City of Winston-Salem No comment.

Amy Crum

336-747-7051

amyc@cityofws.org

9/19/23 4:58 PM

01.03) Rezoning-

Special Use District - 2

Stormwater

General Issues

14. Stormwater Management Permit Required

City of Winston-Salem

Joe Fogarty

336-747-6961

josephf@cityofws.org

9/6/23 12:14 PM

01.03) Rezoning-

Special Use District - 2

This development will be required to apply for and be issued with a Post Construction Stormwater Management permit that shows compliance with the City of Winston-Salem's Post Construction Stormwater Management ordinance provisions.

The water quality provisions of the ordinance apply once more than 1 acre of disturbance is proposed during construction which will obviously be the case here. A development is considered a high density development in terms of those provisions if it exceeds 24% impervious area. The plan states that the impervious percentage shall be 28.10% and thus this development will be considered a high density development. High density developments are required to manage the first inch of runoff from the development in an approved stormwater management system. The water quality provisions also require stream buffers to be provided off of all intermittent and perennial streams that may be located on the property. There appears to be at least one such conveyance located on this property. You do appear to be indicating what I assume to be stream buffers but you have not stated the width or labeled the buffers unless I'm overlooking it. The width is required to be 50'. Just ensure the label with its width is actually stated on the plan. No impervious area will be permitted in the buffer zones. The outer half of a buffer may be disturbed for construction grading purposes but the inner half of a buffer closest to the stream bank must remain undisturbed at all times. It appears you are meeting this requirement if the buffers, which I'm assuming you are showing, are correct.

The water quantity provisions of the ordinance apply once more than 20,000 sq.ft or more of new impervious area is created which again is the case here. Those provisions require that the post developed peak runoff rates from the 2, 10 and 25 year storm events of minimum 6 hour duration are managed in an approved stormwater management system to at, or below, the pre developed rates and also that the increase in the pre versus post 25 year volume be stored in the stormwater management system and this volume released over a 2 to 5 day period.

Your plan is showing one proposed Stormwater Control Measure (SCM) so my guess is you are likely aware of the above requirements and you have determined that one SCM will be enough to meet them. The type of SCM is not specified. I would assume its going to be a wet detention pond. However, you may want to check with Planning Department staff to see if you need to be specific on the type of SCM you are proposing on this plan for the purposes of the Planning Board. Its not a big issue for me personally if you are not specific at this stage but the Planning Board members may want to know what they are approving.

Any stormwater management system will require a financial surety to be provided and set up at the time of permitting. If the developer intends to remain as the long term Operation and Maintenance (O&M) entity for the system then the surety shall consist

of a one time non-refundable payment made to the City at the time of permitting that equals 4% of the estimated construction cost of the Stormwater Management system. If the developer intends to establish a Home Owners Association (HOA) to be the long term O&M entity, then the surety shall consist of the developer establishing an escrow account and depositing 15% of the estimated construction cost of the Stormwater Management system into that account. The HOA will be obliged to add further funds in later years per the ordinance requirements for such an escrow account. The developer will also have to have an escrow agreement approved by the City and once approved recorded at The Forsyth County Register of Deeds office.

Finally, the stormwater management system will also need to have an O&M Agreement approved by the City at the time of permitting and once approved recorded at The Forsyth County Register of Deeds office. If the developer is to be the long term O&M entity of the system, then it will be a 2 party agreement between the City and the Developer. If there will be a HOA as the long term O&M entity for the system then the agreement will be a 3 party agreement between the City, the Developer and the HOA.

Utilities

General Issues

20. General Comments

[City of Winston-Salem](#)
Chris Jones
336-747-7499
charlesj@cityofws.org
9/13/23 5:59 AM
01.03) Rezoning-
Special Use District - 2

Submit water/sewer extension plans, in IDT, to Utilities Plan Review for permitting/approval. Ensure design is to COWS IDS and Tech Specs Specification. Loop water to Kathleen Lane. Water meters purchased through COWS. System development fees due at the time of meter purchase. The water easement on the 48" waterline is 30'. No retaining walls or stormwater devices allowed in the 30' water easement. DI pipe will be required for sanitary sewer line because of the number of connections and close proximity of them.

WSDOT

General Issues

32. WSDOT

[City of Winston-Salem](#)
Nick Smith
336-747-7064
nicks@cityofws.org
9/21/23 4:36 PM
01.03) Rezoning-
Special Use District - 2

Please contact Winston-Salem DOT for their Comments.
Email: Richard.Shook@stantec.com
Phone: 3362761619

Zoning

General Issues

21. UDO 5.2 - Use-Specific Standards

[City of Winston-Salem](#)
Nick Smith
336-747-7064
nicks@cityofws.org
9/13/23 5:48 PM
01.03) Rezoning-
Special Use District - 2

Section 5.2.71 Residential Building, Multifamily; Townhouse; or Twin Home Use-Specific Standards (W)

A. Site Plan Review by the Planning Board
The Planning Board shall review all multifamily residential building developments with the following exceptions:

1. Front of Public Streets: Developments in which all multifamily residential

- buildings front upon an existing public street.
2. Six (6) units or Less: Developments which contain six (6) units or less.

B. Standards

With the exception of multifamily development located in the RSQ District, all multifamily residential buildings shall comply with the following:

1. **Traffic Requirements:** in approving the site plan for a multifamily development, the Planning Board shall determine that the streets, driveways, parking areas, and other public and private drives shown on the plan are so located that:
 - Effect of the Public Street System: They do not block, impede, or interfere with the orderly development of the public street system.
 - Standards and Dedication: Those streets on the plan which are likely to be used by the public as through or connector streets, or which for the orderly development of the area should be made public streets, are designed to the standards of public streets and are dedicated or offered for dedication as such on a recorded plat except that public streets in the RM-5 District may be constructed to alternative width and horizontal and vertical curvature standards, as approved by the Director of Transportation.
 - Access: Adequate provision is made for vehicular traffic to and from the premises and for vehicular traffic and pedestrian traffic to and from the proposed buildings, structures, and parking areas on the premises, including firefighting and police equipment and personnel, ambulance service, garbage collection service, postal service, delivery service, and other public and private services and individuals who would require access to the premises.
2. **Common Recreation Area:**
 - Common recreation areas and facilities, such as areas for small children or other recreational areas, shall be provided for multifamily developments containing forty (40) units or more, based on the standards of Section 7.6.1, Common Recreation Areas.
3. **Architectural Standards:** Through the use of a variety of fenestration patterns, building façade offsets, roof line treatments, and other architectural features, the perceived bulk, scale, and length and width of the building is compatible with surrounding buildings.
4. **Developments on Smaller Lots:** N/A.
5. **Building Spacing Requirements:** If a zoning lot is developed for multifamily, townhouse or twin home residential buildings, the following method shall be used to determine the minimum spacing of buildings. The spacing of buildings shall be shown on a site plan prepared according to the provisions of Section 3.2.11, Site Plan. Please review this section and insure compliance.
6. **Parking in RM-5 Districts:** N/A
7. **Multifamily Buildings in GMA2:** N/A

C. LO District

N/A

D. RM-5 District

N/A

E. Dimensional Requirements for Townhouse and Twin Home Units and Buildings

1. Townhouse and Twin Home Units

- Townhouse and twin home units developed in the RSQ and RM-5 Districts shall adhere to the dimensional requirements of their respective zoning districts.
- Townhouse and twin home units in other permitted zoning districts may be constructed and sold with no setback, lot area, or lot width requirements.

2. Townhouse or Twin Home Buildings

- Development projects with townhouse and twin home buildings shall comply with the general dimensional and building spacing requirements of the applicable zoning district for the project as one zoning lot.

F. NB District

N/A

G. GO District

N/A

[Ver. 2] [Edited By Nick Smith]

22. UDO 7.6 - Open Space and Dedication

City of Winston-Salem

Nick Smith

336-747-7064

nicks@cityofws.org

9/14/23 1:09 PM

01.03) Rezoning-

Special Use District - 2

7.6.1 Common Recreation Areas

• A. Applicability

- All multifamily developments containing forty (40) or more units, and all manufactured home developments, shall provide on-site common recreation area as required in this section.
- Elderly housing, life care communities, and other developments occupied exclusively by persons who are at least fifty-five (55) years old or disabled are exempt from the requirements of this section.

• B. Minimum Size

- (WS) A minimum of one hundred (100) square feet per unit shall be devoted to common recreation areas.
 - **125 units = 12,500 sqft of required common recreation area.**
 - **13,000 sqft is being provided.**

• C. Combining Areas

- The total common recreation area may be divided into areas not less than four thousand (4,000) square feet each where the average length of the space does not exceed twice the average width.
 - **??All three areas meet this requirement, so long as Areas 1 & 2 are on the plus side of the "+/-." We recommend rewriting the allocations of Areas 1 & 2 to ensure the Common Recreation Areas stays above 4,000 sqft (e.g. "4,000 sqft minimum").**

• D. Access

- Common recreation areas shall be easily accessible by pedestrian walkways so they can be conveniently and safely reached and used.
 - **?Areas 1 & 3 are easily accessible via pedestrian walkways.**
 - **Area 2 is not currently accessible via pedestrian walkways. Please show a sidewalk connection to Area 2, much like you show for Areas 1 & 3. Differently-Abled residents will likely have difficulties accessing Area 2 through the valley curb.**

• E. Finished Grade

- Common recreation areas shall be constructed on land where the average finished grade of the slope does not exceed five percent (5%), is

well drained, and is otherwise capable of serving the purposes intended.

- **Make sure the Areas are well-drained.**

- **F. Landscaping**

- (WS) Common recreation areas shall be attractively landscaped and provided with sufficient natural or constructed screening to minimize any negative impacts upon adjacent residences within the development. Additionally, one large variety tree shall be required for every two thousand five hundred (2,500) square feet of common recreation area.
 - **?To meet the screening requirement, Planning would require a single large variety tree be planted between the common recreation areas and any immediately adjacent townhomes.**

- **G. Exclusions**

- Common recreation areas shall not include streets, access easements, rights-of-way, parking areas, required perimeter bufferyards or streetyards or required building setbacks; shall be closed to motor vehicle traffic except for maintenance and service vehicles; and shall not be located over a septic system drainage field.

- **H. Maintenance**

- Common recreation areas shall be improved and maintained for the purposes intended.

[Ver. 4] [Edited By Nick Smith]

23. Zoning Plan Review

City of Winston-Salem
Nick Smith
336-747-7064
nicks@cityofws.org
9/13/23 5:59 PM
01.03) Rezoning-
Special Use District - 2

Principal Use	Parking Space Formula	Site Plan Measurement	Required Parking Spaces
Townhomes (Multifamily, 3 Bedroom units)	2 spaces per dwelling unit	125 units	250 parking spaces

Principal Use	Bicycle Space Formula	Site Plan Measurement	Required Bicycle Spaces
Townhomes (Multifamily, 3 Bedroom units)	Exempt	N/A	None

Your site plan does propose enough parking spaces (273) to meet the minimum parking spaces required (250) for the proposed use (Townhomes [Multifamily, 3 Bedroom Units]).

24. Zoning Plan Review

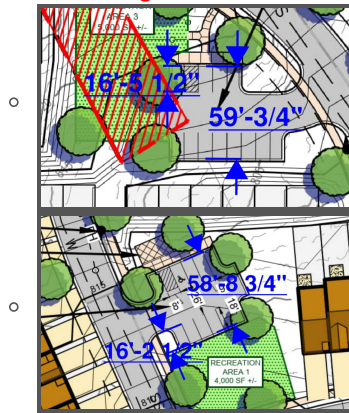
City of Winston-Salem
 Nick Smith
 336-747-7064
nicks@cityofws.org
 9/13/23 6:15 PM
 01.03) Rezoning-
 Special Use District - 2

6.1.3A General Requirements

- There can be no residential parking spaces off of public streets. Multifamily, commercial, and industrial properties may provide parking along private roads and private access easements, absent other restrictions.
- All parking maneuvers must occur in the off-site area or structure.
- Site plans must show a five-foot wide unobstructed paved pedestrian walkway between the principal building main entrance and each sidewalk-designated public street.

6.1.3B Dimensional Requirements

- Your parking spaces for the visitors lot do not meet Dimensional Requirements. It appears you are measuring from the far edge of the curb. The parking diagram shows to measure from the end of the asphalt, not the top/far edge of the curb, likely resulting in some lost feet in both locations. Please review *Table 6.1.3.B: Parking Dimensions* and revise your parking spaces.



6.1.3J Lighting

- Ensure that lighting for Motor Vehicle Surface Areas does not cast direct light onto adjacent properties or structures.

6.1.3K Drainage

- Ensure that drainage for Motor Vehicle Surface Areas meets the requirements of Section 8.4, Erosion Control.

25. Zoning Plan Review

City of Winston-Salem
 Nick Smith
 336-747-7064
nicks@cityofws.org
 9/13/23 6:23 PM
 01.03) Rezoning-
 Special Use District - 2

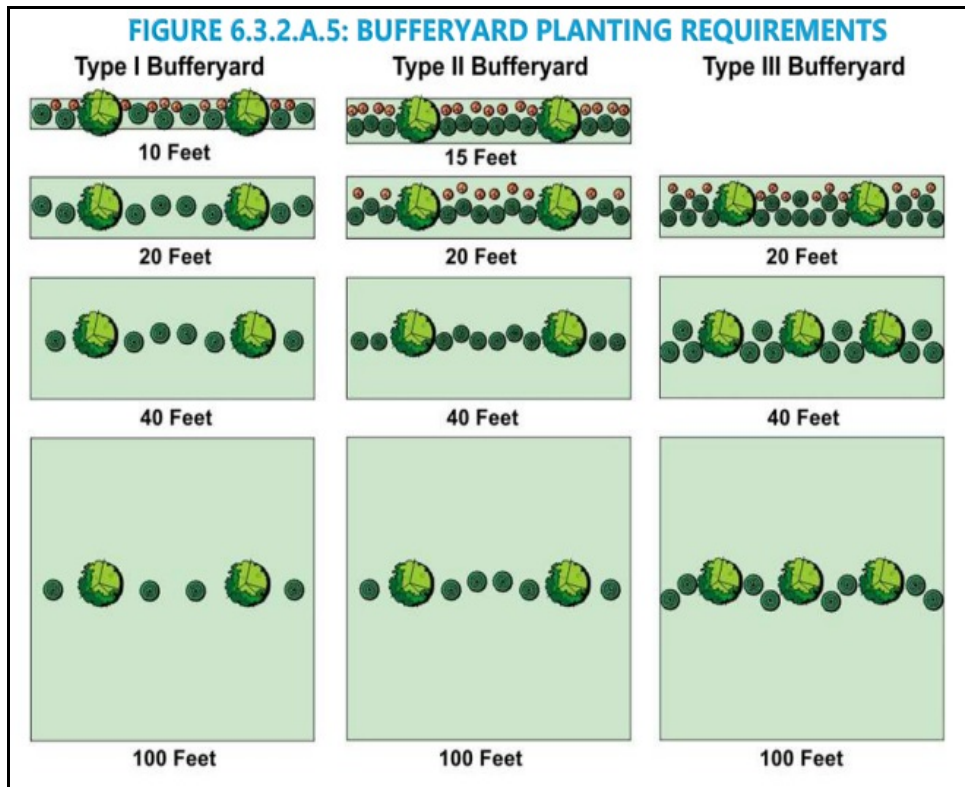
Zoning District	Zoning District Category	Which Property Line?	Adjacent Zoning & category	Bufferyard Type Required
RM8-S	MFR	North	RS9 (Across Public ROW) MU-S	None Type I (Type I Bufferyard required if no bufferyard is provided on developed adjacent property designated as high intensity commercial (HIC) or industrial (IND) zoning types.)
RM8-S	MFR	South	RS9	Type II
RM8-S	MFR	West	RS9	Type II

- **Section 6.3.2A.3.a - Type I Bufferyard**

TABLE 6.3.2.A.2: TYPE I BUFFERYARD	
Minimum Bufferyard Width	Minimum Plant Material per One Hundred (100) Linear Feet
10 feet	2 deciduous trees; 8 primary evergreen plants; 10 supplemental evergreen shrubs
20 feet	2 deciduous trees; 8 primary evergreen plants
40 feet	2 deciduous trees; 6 primary evergreen plants
100 feet	2 deciduous trees; 4 primary evergreen plants

• Section 6.3.2A.3.b - Type II Bufferyard

TABLE 6.3.2.A.3: TYPE II BUFFERYARD	
Minimum Bufferyard Width	Minimum Plant Material per One Hundred (100) Linear Feet
15 feet	2 deciduous trees; 12 primary evergreen plants; 15 supplemental evergreen shrubs
20 feet	2 deciduous trees; 12 primary evergreen plants; 10 supplemental evergreen shrubs
40 feet	2 deciduous trees; 10 primary evergreen plants
100 feet	2 deciduous trees; 6 primary evergreen plants



Section 6.3.2B.3 - Fence or Wall Option

An opaque fence or wall may be used in lieu of not more than fifty percent (50%) of the required evergreen bufferyard plantings with the approval of the Director of Planning and Development Services or a designee and provided each of the following

conditions are met, where applicable:

- The minimum required fence height shall be eight (8) feet above ground level when the proposed project zoning type is classified as an industrial zoning type.
- The minimum required fence height shall be six (6) feet above ground level when the proposed project zoning type is classified as any zoning type except those classified as industrial.
- Where a fence or wall is used as part of the required screening, all required vegetation shall be planted on the exterior side of the fence or wall.
- Where the fence option is used to screen multifamily residential zoning types from more intense zoning types, the required vegetation may be planted on the interior side of the fence or wall.

Section 6.3.2B.4 - Earthen Berms

Earthen berms six (6) feet high or greater, or earthen berms with combined evergreen shrub plantings reaching a minimum height of six (6) feet, may be used in lieu of not more than fifty percent (50%) of the evergreen bufferyard plantings providing the following conditions are met:

- The entire berm shall be planted and covered with live vegetation.
- On berms less than six (6) feet in height, evergreen shrubs, if used, shall be a minimum of one foot in height at installation and shall be placed no greater than eighteen (18) inches edge to edge.
- Berms shall be naturally shaped, shall have a minimum crown width of two (2) feet, and shall have side slopes stabilized to sedimentation and erosion control standards.

26. Zoning Plan Review

Section 6.6 - Exterior Lighting

Section 6.6.1 - Applicability

A. Generally: The standards in this section shall apply to lighting for principal buildings submitted for permitting after January 7, 2019 on zoning lots that are adjacent to a public street or to residential zoning, or lighting for outdoor recreation uses and stadiums as described in Section 6.6.3, Lighting for Outdoor Recreation Uses and Stadiums, below.

B. Exemptions: This section shall not apply to:

1. The uses residential building, single family; residential building, duplex; residential building, twin home; and **residential building townhouse**;
 - o **Section 6.6 will only apply to any exterior lighting provided at the common recreation areas and the visitor parking lots**
2. Street lights in the public right-of-way;
3. Airport runway and aviation safety lights required by the FAA; or
4. Temporary lighting.

C. Conflict: Where these standards conflict with the standards of the H (Historic) or HO (Historic Overlay) zoning districts, the standards for those districts shall take precedence.

Section 6.6.2 - General Requirements

A. Lighting Plan

1. A lighting plan prepared by a lighting certified (LC) lighting professional or a professional engineer licensed in the State of North Carolina shall demonstrate that all exterior lighting is designed, located, and installed in such a manner that light levels measured at the residential property line and the public right-of-way do not exceed one-half (1/2) footcandle.
2. Prior to the issuance of a certificate of occupancy, the LC lighting professional or professional engineer shall certify in writing that that lighting was installed per the approved plans.

B. Light Level Measurement

1. Light levels are specified, calculated, and measured in footcandles.
2. All values are initial footcandles.
3. Measurements shall be made at ground level with the light-registering portion of the meter held horizontally pointing up.

C. Parking Lot Lighting

1. Parking lot lighting shall utilize fixtures certified as full cutoff or LED BUG-rated fixtures with an upright rating of U0 and a maximum glare rating of G3.
2. Lights mounted on poles shall have a maximum pole height of thirty (30) feet and shall not be mounted greater than thirty-two feet (32) feet above grade including any base or mounting structure.
3. Non-shielded wall packs and high-intensity light beams, such as outdoor searchlights, lasers, or strobe lights are prohibited.
4. Routine maintenance of existing lighting, including changing the lamp, ballast, starter, photo control, fixture housing, lens, and other required components is allowed for all existing fixtures. A lighting plan is not required for such changes.

27. UDO 6.2.1 - Landscaping & Tree Preservation Standards, Winston-Salem

Exceptions: "An attached dwelling unit which possesses an individually separated driveway and/or garage"

- **These streetyard standards will only apply at the common recreation areas and visitor lots.**

Section 6.2.1.D.2 - Streetyards

A landscaped streetyard shall be required for all motor vehicle surface areas located within one hundred (100) feet of a street right-of-way or vehicular right-of-way, including controlled access highways, whether or not it may provide access to the site, unless separated by an intervening building.

- **Provide streetyards at both visitor lots along the frontages shown. You are already showing trees, so you may be providing a streetyard already. Explain which "Other Streetyard Components" you will be using. Providing a typical cross section is acceptable.**



Streetyard Width

- Minimum streetyard width is ten (10) feet, and shall be measured perpendicular to the street right-of-way.
- The streetyard shall be positioned between the motor vehicle surface area and street right-of-way.

Streetyard Impervious Surface Cover

A maximum of fifteen percent (15%) of the required streetyard may be covered with impervious surface cover which may be used for walkways, fountains, walls, wall planters, or utility meters and vaults, but may not be used for motor vehicle surface or display, outdoor storage, private utility service, or service areas.

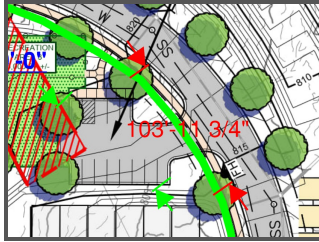
- **This means the sidewalk will need to be outside of the streetyard, as the sidewalk would count towards the 15%.**

Number & Spacing of Trees

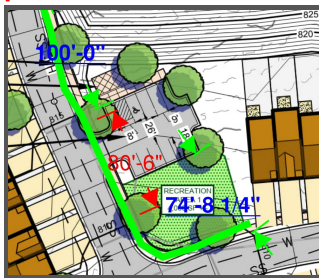
- All streetyards must contain at least one (1) tree.
- Each streetyard shall contain a minimum of two (2) deciduous or evergreen large variety trees per one hundred (100) linear feet, excluding points of motor vehicle ingress or egress.
 - **The eastern visitors lot streetyard is approximately 300' long, meaning you will need to provide six (6) deciduous or evergreen large variety trees. It appears that you are currently providing five (5).**
 - **The eastern visitors lot streetyard is approximately 285' long, meaning you will need to provide four (4) deciduous or evergreen large variety trees. It appears that you are currently providing four (4).**
- Required trees must be a minimum of eight (8) feet in height at installation and

shall be at least two (2) inches in diameter measured six (6) inches above ground level.

- Where two (2) or more streetyard trees are required, all trees shall be planted with the center of the main trunks twenty (20) to seventy-five (75) feet apart.
 - **On your eastern visitors lot, it appears that the two trees on either side of the driveway are too far apart. Please adjust thier placement to meet this standard:**



- **On your western visitors lot, it appears that the two trees on either side of the driveway are too far apart. Please slightly adjust their placement to meet this standard:**



- Existing deciduous trees located in the abutting street right-of-way may be used to satisfy the distribution requirements in this section.
- Small or medium variety trees may be used where overhead utility lines exist in accordance with Section 6.2.1B.10, Overhead Utility Lines.

Other Streetyard Components (Specify which components you will be using)

In addition to required trees, the landowner or developer shall use one of the following, or a combination thereof, to satisfy streetyard requirements:

- **Natural Shrubs**
 - ?Streetyard shrubs must be a minimum of eighteen (18) inches in height at installation, with a minimum height of thirty-six (36) inches within three (3) years after installation.
 - Shrubs must be a locally adapted species which retain foliage to within six (6) inches above ground level.
 - Shrubs shall be spaced no more than eighteen (18) inches, edge to edge.
 - No more than thirty percent (30%) of streetyard shrubs shall be deciduous.
- **Fences & Walls**
 - ?A streetyard fence or wall shall be a minimum of thirty-six (36) inches in height, opaque, and shall be constructed of masonry, stone, or wooden material, or of the same material as that of the principal building.
- **Wall Planters**
 - ?A streetyard wall planter shall be constructed of masonry, stone, or other permanent material.
 - At installation, the minimum combined height of wall planters and shrubs shall be twenty-four (24) inches.
 - Within three (3) years after installation, the combined height of wall planters and shrubs shall be no less than thirty-six (36) inches.
 - The effective planting width of a streetyard wall planter shall be no less

than thirty-six (36) inches; however, where required streetyard trees are installed in wall planters, the effective planting width of the wall planters shall be no less than seven (7) feet.

- A minimum of one shrub shall be required for every five (5) square feet of wall planter area.

- **Earthen Berms**

- ?At installation, streetyard berms shall have a minimum height of eighteen (18) inches, a minimum crown width of two (2) feet, and a side slope with a width to height ratio of no greater than two (2) to one (2:1).
- The entire berm shall be planted and covered with live vegetation.
- Berm shrubs shall be a minimum of one foot in height at installation and shall be spaced no greater than eighteen (18) inches, edge to edge.
- Within three (3) years after installation, the combined height of berm and shrubs must be at least thirty-six (36) inches.
- Streetyard berms which are thirty-six (36) inches or greater in height at installation shall not be required to contain shrubs; however, streetyard trees shall still be required as specified in this section.

[Ver. 2] [Edited By Nick Smith]

28. UDO 6.2.1 - Landscaping & Tree Preservation Standards, Winston-Salem

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01.03) Rezoning-Special Use District -

2

Exceptions: "An attached dwelling unit which possesses an individually separated driveway and/or garage"

- **These Interior MVSA standards will only apply at the common recreation areas and visitor lots.**

Section 6.2.1.D.3 - Interior Motor Vehicle Surface Area (MVSA) Plantings

In addition to the required streetyard, all motor vehicle surface areas shall contain landscaped planting areas, as follows:

Location of Plantings

Interior planting areas shall be located adjacent to motor vehicle surface area edges or within the interior as islands or medians, and may contain berms of the minimum dimensions specified in Section 6.2.1D.2.d.iv, Earthen Berms.

Size of Planting Areas

- Each planting area shall allocate a minimum of one hundred fifty (150) square feet per tree.
- Each planting area shall allocate a minimum of six hundred (600) square feet for each large variety tree.
- Each planting area shall allocate a minimum radius of seven (7) feet for each small or medium variety tree.
- Each large variety tree planted shall provide a seven hundred fifty (750) square foot credit towards the requirements of Section 6.2.1C, Tree Preservation and Planting.

Required Trees in Planting Area

- Each planting area shall contain at least one deciduous or evergreen large variety tree.
- The required deciduous or evergreen large variety tree for each planting area shall be a minimum height of eight (8) feet at the time of installation and shall have

a minimum diameter of two (2) inches measured six (6) inches above ground level.

Ratio

- One large variety tree shall be used for every five thousand (5,000) square feet of MVSA.
 - **The eastern visitors lot has approximately 4,450 sqft of MVSA and the western visitors lot has approximately 3,700 sqft of MVSA. Each parking lot will require 1 large variety tree.**
- One small variety tree with a minimum height of eight (8) feet at the time of installation and a minimum diameter of two (2) inches measured six (6) inches above ground level, and four (4) natural shrubs meeting the standards of Section 6.2.1D.2.d.i, Natural Shrubs, shall be required for every one hundred (100) square feet of planting area.
- Planting areas shall be at least five (5) feet wide, unless otherwise approved by the Director of Planning and Development Services, or a designee.
- Existing parking spaces removed to accommodate this landscaping requirement shall not be required to be replaced elsewhere on site.

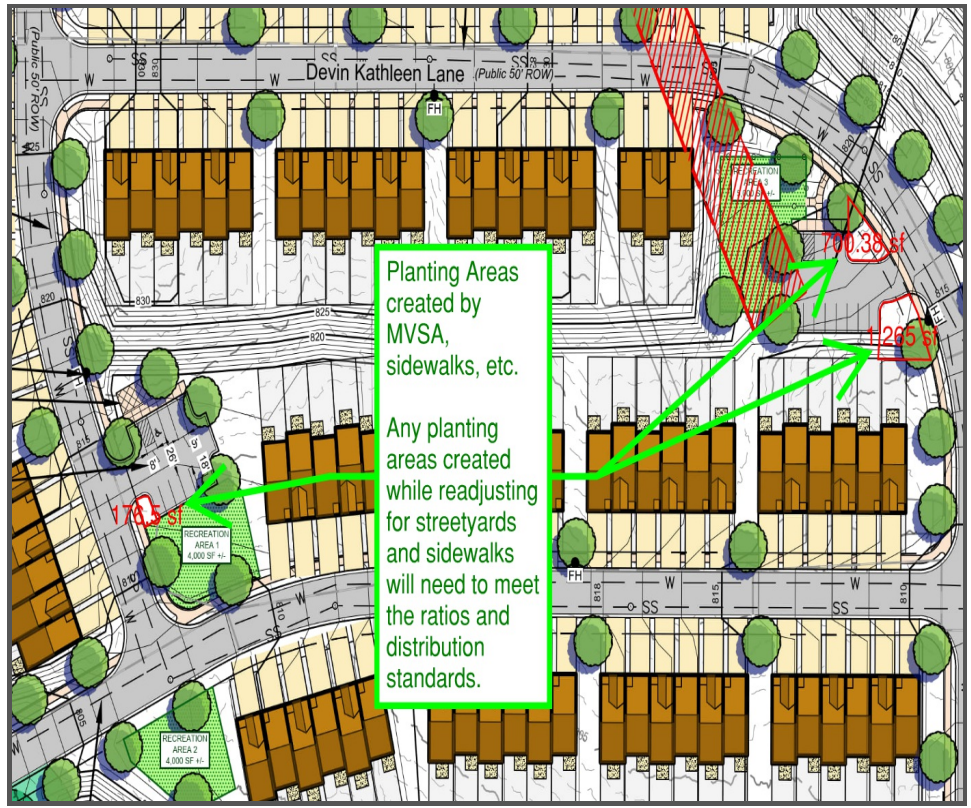
Distance of Parking Spaces to Trees

- **No parking space shall be located more than seventy-five (75) feet from the trunk of a required large variety tree**
- When parking spaces exceed the maximum allowance listed in Table 6.1.2A., Motor Vehicle and Bicycle Parking Space Requirements, supplemental landscaping shall be provided so that no parking space shall be more than fifty (50) feet from the trunk of a required large variety tree located within a minimum planting area of six hundred (600) square feet.

Credit for Streetyard or Bufferyard Trees

Deciduous or broadleaf evergreen trees used as streetyard or bufferyard plantings may be used as credit toward interior planting area requirements, provided that streetyard or bufferyard plantings meet the size requirements of Section 6.3.3B, Design Requirements, and the distance requirements of Section 6.2.1D.3.e, Distance of Parking Spaces to Trees.

- **Streetyard trees will likely be able to meet most of your MVSA requirements.**



Planting Areas created by MVSA, sidewalks, etc.

Any planting areas created while readjusting for streetyards and sidewalks will need to meet the ratios and distribution standards.