



W-3611 Hillcrest Property Development, LLC (McDonalds) (Special Use Rezoning from MU-S and HB-S to GB-S)



A/P #: W3611 SUR
Cityworks Tracking Number: March 2024
Bryce A. Stuart Municipal Building
100 E. First Street, Suite 328
Winston-Salem, NC 27101
Phone: 336-727-2624
Fax: 336-727-2792

City of W-S Inspections

Keenan Conder
Morningstar Law Group
434 Fayetteville Street, Suite 530
Raleigh, NC 27606

Project Name: W-3611 Hillcrest Property Development, LLC
(McDonalds) (Special Use Rezoning from MU-S and HB-S to GB-S)
Jurisdiction: City of Winston-Salem
ProjectID: 1226078

Thursday, March 7, 2024

Open Issues: 19

Engineering

General Issues

30. Driveway Permits

[Stantec Consulting Services, Inc. | Chattanooga, TN](#)
Jan Pass
4234971452
jan.pass@stantec.com
2/19/24 4:30 PM
01.03) Rezoning-Special Use District - 2

1) A City Commercial Driveway Permit will be required for the proposed access connection onto Hillcrest Center Drive. To obtain a driveway permit, complete and sign a City Driveway Permit application and submit it, along with a copy of the site plan, to the City Engineering Division for review. A review fee of \$300 is required. All items may be submitted through IDT plan review portal.

Sambatek - Raleigh, NC Office
Brian Soltz
9198486121
bsoltz@sambatek.com
2/23/24 9:12 AM
01.03) Rezoning-Special Use District - 2

Understood that this is for final plans stage of this project and not necessary for rezoning. [Ver. 2] [Edited By Brian Soltz]

31. General comments

Stantec Consulting Services, Inc. | Chattanooga, TN
Kyle Branning
4234971452
Kyle.Branning@stantec.com
2/20/24 11:15 AM
01.03) Rezoning-Special Use District - 2

1. Design calculations would be required for any proposed storm drainage systems. Calculations may be shown on the plan sheets in tabular form. If proposed storm drainage ties into an existing system within the City right-of-way, a minimum Class III 15" RCP pipe must be used. Connections to permanent drainage structures within the right-of-way will require prior approval from the Engineering Field Office
2. Construction details would need to be shown for storm drainage elements, roadway cross sections, sidewalks, curbing, wheelchair ramps, and dumpster pads. Please include construction detail V-13 from the City IDS Manual for a commercial driveway.
3. Please include a construction detail for any proposed dumpster pads. Dumpster pads must be constructed using a 4,000 psi concrete mix and have a minimum thickness of 8". The concrete must be placed over 6" of compacted ABC stone. Additionally, the concrete driveway aprons must also be constructed using a 4,000 psi concrete mix.
4. Please provide 10' x 70' sight triangles for all exit points from the project. Easements shall remain free of all trees per IDS section 4-2-J.
5. Any new pipe replacements or additions into a city-maintained storm drainage structure will require the replacement of the structure by the developer. A concrete pre-cast structure will be required.
6. Please note the following items on the plan, (a) to contact the Engineering Field Office (EFO) at 336-727-8063 to set up inspections, prior to construction, (b) on the plan, include phone numbers and email addresses for the engineer and project owner, and (c) that the driveway permit will expire one year from the date of issuance.
7. For final driveway permit approval, the final set of plans must be marked "FINAL – Released for Construction".

Sambatek - Raleigh, NC Office
Brian Soltz
9198486121
bsoltz@sambatek.com
2/23/24 9:12 AM
01.03) Rezoning-Special Use District - 2

Understood that this is for final plans stage of this project and not necessary for rezoning.

Erosion Control

General Issues

9. Grading/Erosion Control Permit and Erosion Control Plan needed

City of Winston-Salem
Matthew Osborne
336-462-7480
matthewo@cityofws.org
2/7/24 8:31 AM
01.03) Rezoning-Special Use District - 2

If the proposed project creates more than 10,000 sq. ft. of land disturbance, a Grading/Erosion Control Permit will be required prior to the start of work. In order to obtain this permit you must submit a professionally designed Erosion Control Plan along with an original signed/notarized Financial Responsibility/Ownership (FRO) form for review and approval. Please submit the plan through the electronic plan review portal as application type **04.02 Grading/Erosion Control Permit** at the following link: <https://winston-salem.idtplans.com/secure/>

Sambatek - Raleigh, NC Office
Brian Soltz
9198486121

Understood that this is for final plans stage of this project and not necessary for rezoning.

bsoltz@sambatek.com
2/23/24 9:12 AM

Fire/Life Safety

General Issues

Special Use District - 2

12. Sketch Plans and Site Plans

City of Winston-Salem
(Fire)

Future construction plans shall indicate locations of fire hydrants (existing and proposed) to demonstrate compliance with fire code requirements and City development standards.

Raven Byrd
336-747-7456
ravenb@cityofwsfire.org
2/12/24 12:03 PM

For those buildings on this site that are equipped with sprinkler or standpipe systems, indicate the location of each FDC, ensuring no FDC is more than 100 feet from a fire hydrant.

01.03) Rezoning-
Special Use District - 2

Ensure fire apparatus access roads are provided, designed, built and maintained in compliance with fire code requirements. These requirements include but are not limited to the following items:

- Design, construction and maintenance of fire apparatus access roads to carry an imposed load of not less than 75,000 pounds;
- Clear width requirements of not less than 20 feet for two-way traffic;
- Clear height requirements of not less than 13 feet, 6 inches;
- Design, construction and maintenance of approved turnaround designs for fire apparatus access roads when the dead-end length of the required access road is more than 150 feet.
- Gates may not obstruct fire apparatus access roads unless approved by the Winston-Salem Fire Department; approval requires compliance with all applicable fire code requirements.

As part of your construction plan submittal, include the calculations for needed fire flow for this project and indicate the approved method of calculation in use. Buildings that are equipped with sprinkler systems throughout are exempt from this requirement. Refer to Section 507 of the 2018 NC Fire Code for further information. Approved calculation methods include the following options:

- Appendix B of the 2018 NC Fire Code; or
- the ISO Fire Suppression Rating Schedule (as described in <https://www.isomitigation.com/siteassets/downloads/guide-determinerequiredfireflow.pdf>).

Emergency responder radio coverage shall meet the requirements of Section 510 of the 2018 NC Fire Code for this project. Consider how these requirements, including any systems necessary to bring radio coverage into compliance with this section, may impact your plans.

Sambatek - Raleigh, NC Office
Brian Soltz
9198486121

Understood that this is for final plans stage of this project and not necessary for rezoning.

bsoltz@sambatek.com
2/23/24 9:14 AM

01.03) Rezoning-
Special Use District - 2

NCDOT

General Issues

27. General Comments

[NCDOT Division 9](#)
Ashley Long
336-747-7900
amlong1@ncdot.gov
2/19/24 11:27 AM
01.03) Rezoning-
Special Use District - 2

- A Negative Access Easement needs to be shown for the property line adjoining Stratford Road (US 158).
- A 16.1 two-party encroachment would be required for utility connections (i.e. power, telephone, and gas) in the right of way.
- A 16.6 3-party encroachment agreement would be required for any utility ties (water and sewer) in the right of way, and sidewalk where applicable.
- All encroachment agreements should be submitted through the online portal.

[Sambatek - Raleigh, NC Office](#) Understood that this is for final plans stage of this project and not necessary for rezoning.

Planning

W-3611 Site Plan Interdepartmental.pdf [1 redline] (Page 1) [1] RZ-1 REZONING

29. Text Box B

[Brian Soltz](#)
9198486121
bsoltz@sambatek.com
2/23/24 9:16 AM
[Forsyth County Government](#)
01.03) Rezoning-
Special Use District - 2

2285 WINTERHAVEN LN

3367032337
alfordgd@forsyth.cc
2/19/24 3:11 PM
01.03) Rezoning-
Special Use District - 2

[Sambatek - Raleigh, NC Office](#) Address has been updated.
Brian Soltz
9198486121
bsoltz@sambatek.com
2/23/24 9:17 AM
01.03) Rezoning-
Special Use District - 2

General Issues

10. Historic Resources

[City of Winston-Salem](#) No comments
Heather Bratland
336-727-8000
heatherb@cityofws.org
2/7/24 9:42 AM
01.03) Rezoning-
Special Use District - 2

[Sambatek - Raleigh, NC Office](#) Thanks!
Brian Soltz
9198486121
bsoltz@sambatek.com
2/23/24 9:17 AM
01.03) Rezoning-
Special Use District - 2

13. CPACC

[City of Winston-Salem/Forsyth County](#) **DOCKET NUMBER: W-3611**
Daniel Rankin
336-747-7422
danielr@cityofws.org
2/13/24 3:01 PM
01.03) Rezoning-
Special Use District - 2

CONFORMITY TO PLANS

Growth Management Plan Area (*Legacy*): 3 (Suburban Neighborhoods)
Relevant Comprehensive Plan Recommendation(s) for or against proposal:
Activity centers have the potential to accommodate denser mixed-use development (p. 32).

Encourage convenient services at designated areas to support neighborhoods consistent with the Growth Management Plan (p. 54).

Minimize the number of driveways along thoroughfares and arterials to reduce vehicular conflicts, increase pedestrian safety, and improve roadway capacity (p. 65).

Focus higher-intensity, quality mixed-use development in activity centers, growth corridors, and town centers (p. 170).

Retrofit, redevelop, or develop identified urban and suburban activity centers to create mixed-use, pedestrian-friendly areas providing easy access to a range of goods and services as well as provide locations for higher-density residential development (p. 183).

Promote activity centers as compact, mixed-use areas supporting walking and transit use and providing services and employment close to residences (p. 183).

Promote both horizontal and vertical mixed-use within designated activity centers (p. 184).

Ensure activity centers' compatibility with the scale and character of the surrounding neighborhoods (p. 184).

Minimize the visual prominence of parked vehicles to create more aesthetically appealing sites and to increase storefront or office visibility (p. 184).

Area Plan/Development Guide: *Southwest Suburban Area Plan Update* (2015)

Relevant Development Guide Recommendation(s) in favor of proposal:

Goods and services should be available near where people live and work (p. 19).

Site design should incorporate pedestrian-oriented elements such as street trees... (p. 19).

[For Commercial Uses]: The reuse of vacant buildings and the redevelopment of existing undeveloped and underutilized sites is recommended where possible (p. 22).

The Proposed Land Use Map shows the subject property as being proposed for Commercial Use (p. 25).

The activity center includes a neighborhood-scale shopping center at the intersection of South Stratford Road and Somerset Drive, a restaurant, gas station, and other automobile-oriented uses further north on South Stratford Road. This commercial development serves the surrounding community and nearby residences and can be accessed by sidewalk from the Hillcrest development (p. 33).

Economic development efforts should be compatible with existing development and should include improvements to existing facilities as well as new businesses (p. 49).

[From Appendix H – Guidelines for Activity Centers]: For activity centers, building heights should be greatest near the center of these developments and transition to lower heights outward toward the edge of the development. Buildings at the edge should be comparable in height and massing to the adjacent and nearby properties as well as the surrounding neighborhood (p. 66).

[From Appendix H – Guidelines for Activity Centers]: 1-story construction is listed as being within the range of suggested building heights for activity centers (p. 66).

[From Appendix H – Guidelines for Activity Centers]: A minimum of 40% of required parking should be located to the rear or side of buildings (p. 67).

[From Appendix H – Guidelines for Activity Centers]: Parking lots along the street should be screened from the adjacent street and sidewalk by landscaping, walls, or fences (p. 67).

Relevant Development Guide Recommendation(s) against proposal:

Site design should incorporate pedestrian-oriented elements such as... buildings located close to the street, building façade articulation and variety... (p. 19).

[Within the Activity Center recommendations]: Sidewalks should also be constructed along portions of South Stratford Road (p. 33).

Develop activity centers along growth corridors as transit-oriented, high density, mixed-use nodes (p. 43).

[From Appendix H – Guidelines for Activity Centers]: At least 70% of the frontage walls of commercial buildings should be comprised of windows or doors (p. 66).

Parking to the side of buildings should not occupy more than 30% of the frontage of the building (p. 67).

Growth Corridor: No – although the subject property does front on S. Stratford Road and the property on the opposite side of S. Stratford Road is identified as being a part of a “Suburban Form – Commercial/Office/Multifamily” growth corridor.

Activity Center: Yes – the subject property is within the Hillcrest/Somerset Drive Activity Center (p. 25 of *Area Plan*).

Sambatek - Raleigh, Understood
NC Office
Brian Soltz
9198486121
bsoltz@sambatek.com
2/23/24 9:18 AM
01.03) Rezoning-
Special Use District - 2

14. Community Appearance Commission

City of Winston- No comment
Salem/Forsyth County
Daniel Rankin
336-747-7422
danielr@cityofws.org
2/13/24 3:03 PM
01.03) Rezoning-
Special Use District - 2

Sambatek - Raleigh, Thanks
NC Office
Brian Soltz
9198486121
bsoltz@sambatek.com
2/23/24 9:19 AM
01.03) Rezoning-
Special Use District - 2

28. Environmental Features/Greenways

City of Winston-Salem Greenways: N/A
 Sarah Keeley
 336-727-8000 Farmland/VAD: N/A
sarahke@CITYOFWS.ORG
 2/19/24 1:56 PM Wetlands: N/A
 01.03) Rezoning-Special
 Use District - 2 National Heritage Site: N/A

Sambatek - Raleigh, NC thanks
 Office
 Brian Soltz
 9198486121

33. Cross Access

bsoltz@sambatek.com
 2/23/24 9:19 AM
 City of Winston-Salem Extend cross access easement to the next property (northeast).
 01.03) Rezoning-Special
 Marc Allred
 Use District - 2
 336-727-8000

marca@cityofws.org
 2/21/24 8:54 AM
 01.03) Rezoning-Special Use District - 2

Sambatek - Raleigh, NC Office This development has agreements in place that allows the cross access of all projects. There is no need to show site specific cross access easements. See BK 2755 PG 1869 & BK 2580 PG 1308 - Section 6 Parking & Access Easements
 Brian Soltz
 9198486121
bsoltz@sambatek.com
 2/23/24 9:27 AM
 01.03) Rezoning-Special Use District - 2

34. Elevations

City of Winston-Salem Elevations will be mostly brick.
 Marc Allred
 336-727-8000
marca@cityofws.org
 2/21/24 8:58 AM
 01.03) Rezoning-Special Use District - 2

Sambatek - Raleigh, NC Office The elevations have been revised to note brick material use.
 Brian Soltz [Ver. 2] [Edited By Brian Soltz]
 9198486121
bsoltz@sambatek.com
 2/23/24 9:27 AM
 01.03) Rezoning-Special Use District - 2

35. Bus Stop

City of Winston-Salem Please contact Kelly Garvin to see if there needs to be a bus stop improvment.
 Marc Allred
 336-727-8000 <https://www.cityofws.org/directory.aspx?EID=512>
marca@cityofws.org
 2/21/24 9:12 AM
 01.03) Rezoning-Special Use District - 2

Sambatek - Raleigh, NC Office
Brian Soltz
9198486121

Communication was sent 2/23.

Sanitation bsoltz@sambatek.com

2/23/24 9:28 AM

General Issues
01.03) Rezoning-

11. Bulk Container Information

City of Winston-Salem

Matthew Cheatham
336-727-8000

matthewch@cityofws.org

2/7/24 2:25 PM

01.03) Rezoning-Special

Use District - 2

Location will require bulk container(s).

Bulk Containers: All surfaces constructed for the placement of bulk containers shall be constructed of concrete with a thickness of at least eight inches. All surfaces constructed for the placement of bulk containers shall be at least 16 feet in length and at least 12 feet in width.

Location and placement: Bulk containers shall be located to provide easy ingress and egress by a container tender truck to the containers. The location of the container shall be free from any overhanging wires or other obstructions which have less than 35 feet of vertical clearance and 40 feet linear clearance of overhead obstruction in the dumping area. All screens or enclosures shall be open on one side for easy access and provide a three-foot clearance on all sides from the bulk container.

Sambatek - Raleigh, NC Office

Brian Soltz
9198486121

bsoltz@sambatek.com

2/23/24 9:29 AM

01.03) Rezoning-Special

Use District - 2

Understood that this is for final plans stage of this project and not necessary for rezoning.

Stormwater

General Issues

8. Exempt from Stormwater Management Permitting

City of Winston-Salem

Joe Fogarty
336-747-6961

josephf@cityofws.org

2/6/24 4:58 PM

01.03) Rezoning-

Special Use District - 2

This development is part of the overall Hillcrest development which had a stormwater management plan approved back in 2003 and so before the adoption of the current stormwater management ordinance. It's therefore grandfathered from that ordinance based on the overall 2003 approval. Nothing further is required in terms of stormwater management permitting.

Sambatek - Raleigh, NC Office

Brian Soltz
9198486121

bsoltz@sambatek.com

2/23/24 9:29 AM

01.03) Rezoning-

Special Use District - 2

Thanks

Utilities

General Issues

26. General Comments

<p>City of Winston-Salem Chris Jones 336-747-7499 charlesj@cityofws.org 2/19/24 5:42 AM 01.03) Rezoning-Special Use District - 2</p>	<p>See as-built drawing that was uploaded into IDT. There is an 8" water main stub to the property. A 2" blow off assembly will be required to install on the end of the line next to the plug if one does not exist. Water connections can be made off this stub. Water meters will be set just behind the new curb line. Water meters purchased through the COWS. All water connections will require a reduced pressure assembly backflow preventer matching the meter size. System development fees due at the time of meter purchase. 4" sewer connections can be made into the existing 8" sewer main. 6" sewer connections must be connected into a SSMH. All connections for restaurants are SDR-26. No heavy cut/fill over the existing sanitary sewer main without permission from Utilities Plan Review. CCTV of the existing sewer will be required post-construction to ensure no damage has occurred to the main. It would be to the developers benefit to CCTV pre-construction, that way if the sewer already has a problem, the developer would not be finically responsible for any repairs of previous damage. A minimum 1,000-gallon in ground grease interceptor will be required, usually restaurants such as this install a 1,500-gallon. There is an existing 30' Public Utility Easement in place. It can be converted to a 30' Private Access and Public Utility Easement.</p> <p>[Ver. 2] [Edited By Chris Jones]</p>
<p>Sambatek - Raleigh, NC Office Brian Soltz 9198486121 bsoltz@sambatek.com 2/23/24 9:30 AM 01.03) Rezoning-Special Use District - 2</p>	<p>Understood that this is for final plans stage of this project and not necessary for rezoning.</p>

WSDOT

General Issues

32. WSDOT

<p>Stantec Consulting Services, Inc. Chattanooga, TN Kyle Branning 4234971452 Kyle.Branning@stantec.com 2/20/24 11:47 AM 01.03) Rezoning-Special Use District - 2</p>	<ol style="list-style-type: none"> The proposed private cross access area must adhere to the design and construction standards for the City of Winston-Salem per IDS Section 4-3. The width of the street needs to be 27' from back of curb to back of curb. <ol style="list-style-type: none"> Proposed private access easement must be recorded with register of deeds. Adjust the orientation of the proposed ADA ramps. On the SE corner, adjust the ramp to be perpendicular with Hillcrest Drive. On the SW corner, adjust ramp to provide perpendicular crossings for Hillcrest Drive and proposed private access drive. Extend sidewalk along Stratford Road to all the way the SE property line for future connection with sidewalk along west side of Stratford.
<p>Sambatek - Raleigh, NC Office Brian Soltz 9198486121 bsoltz@sambatek.com 2/23/24 9:36 AM 01.03) Rezoning-Special Use District - 2</p>	<ul style="list-style-type: none"> The width of the access drive has been adjected to 27' This development has agreements in place that allows the cross access of all projects. There is no need to show site specific cross access easements. See BK 2755 PG 1869 & BK 2580 PG 1308 - Section 6 Parking & Access Easements Sidewalk ramp adjusted Sidewalk along Stratford Rd is not proposed as part of this project. <p>[Ver. 4] [Edited By Brian Soltz]</p>

36. WSDOT

Stantec Consulting Services, Inc. | Chattanooga, TN
 Bradley Polanco
 4234971452
 brad.polanco@stantec.com
 2/21/24 11:20 AM
 01.03) Rezoning-Special Use District - 2

1. The private 30' cross access easement will remain private unless improved or constructed to City of Winston-Salem standards and properly maintained to public standards. Per IDS IV-1, street widths less than 27' back of curb to back of curb require written approval of Assistant City Manager of Public Works and are required to be appropriately signed for enforcement to restrict on-street parking.
2. Per the adopted 2045 Comprehensive Transportation Plan (link found here www.cityofws.org/2791/Comprehensive-Transportation-Plan-CTP), a multiuse path is required along the Stratford Road RoW with a width of 10'-14'. See Local ID WS-Bike083C for additional information.
3. As previously mentioned, adjust the ADA accessible ramp to provide perpendicular crossings for Hillcrest Center Drive with new alignment of multiuse path required along street yard buffer along Stratford Way.

Sambatek - Raleigh, NC Office
 Brian Soltz
 9198486121
 bsoltz@sambatek.com
 2/23/24 9:40 AM
 01.03) Rezoning-Special Use District - 2

- The private access drive (Winterhaven Ln) will remain private there is no intention to convert to public.
- The sidewalk or multi-use path along Stratford Rd is not part of this project.

Zoning [Ver. 3] [Edited By Brian Soltz]
 General Issues

17. UDO 6.1 - Off-Street Parking & Loading

City of Winston-Salem
 Nick Smith
 336-747-7064
 nicks@cityofws.org
 2/21/24 1:45 PM
 01.03) Rezoning-Special Use District - 2

Section 6.1.3: Design Standards for Parking Areas

A. General Requirements

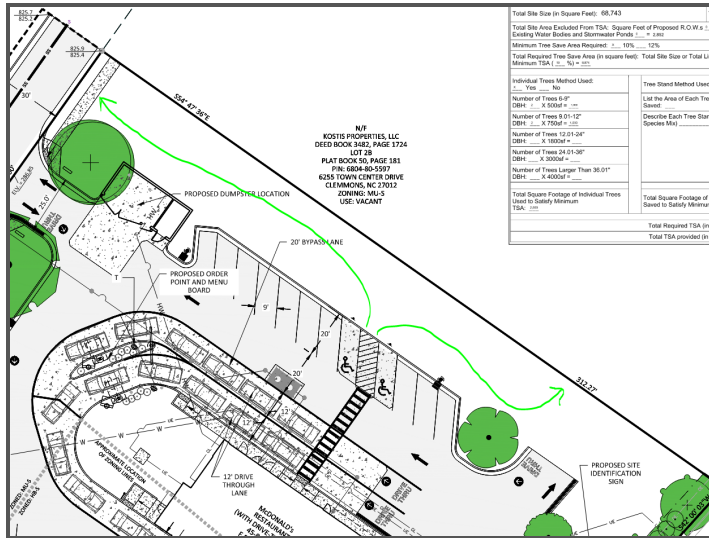
All parking areas shall meet the following design standards:

1. Pedestrian Walkways
 - o **Applicability**
 - The following provisions shall apply to all **new development with parking lots** (or expansions, replacements or redevelopments of ten thousand (10,000) square feet or greater of building area), in the RSQ, RM-5, RM-8, RM-12, RM-18, RM-U, MH, NO, LO, CPO, GO, NB, PB, LB, NSB, HB, **GB**, CB, MRB-S, IP, C, or MU-S zoning districts.
 - These provisions shall not apply in the RSQ, RM-5, RM-8, RM-12, RM-18, RM-U, or MH districts where there are individual driveways or garages adjacent to each unit.
 - o **Pedestrian Walkway:** All of these developments, when located with vehicular access onto a street classified as a **sidewalk-designated collector**, minor thoroughfare or major thoroughfare, shall provide a **physically separated** and unobstructed paved pedestrian walkway a minimum of five (5) feet in width between a principal building entrance and each sidewalk-designated public street.
 - To better achieve the "physical separation" requirement, staff will require texturized patterns or rumble strips prior to the required pedestrian walkway. Normally an elevated walkway would be required, but staff's position has been that such a walkway after a drive through is counter productive. Something similar to the photo below, but low enough so that drinks do not get overturned after the drive through, and a "watch for pedestrians" sign will suffice.





- If you are interested, staff would also request connecting the additional pedestrian walkway to the sidewalk network along the private access easement to the north and to the eastern cross access easement, as shown below:



- Waivers
 - No waivers apply.
 - Appeals of planning staff denials, or staff denial of the occurrence of similar but unlisted circumstances, may be considered for a waiver by the Board of Adjustment.

B. Dimensional Requirements

1. Generally

Table 6.1.3.B: Parking Dimensions

Aisle	(A) Parking Angles (degrees)	(B) Stall Width (feet)	(C) Stall-to-Curb (feet)	(D) Aisle Width (feet)	(E) Curb Length (feet)	(F1) Curb-to-Curb (feet)	(F2) Overlap Curb-to-Curb (feet)
One Way	60 degree	9'	18' (20' provided)	18' (20' provided)	10.4' (10.4' provided)	54' (After subtracting 18' for the unused other curb, 36' is required and 40' is provided)	51' (N/A)
One way	90 degree	9' & 7.5'	"One way 90 degree" parking spaces is not a				

Aisle Travel Way Width	(A) Parking Angles (degrees)	(B) Stall Width (feet)	(C) Stair-to-Curb (feet) configuration within our UDO.	(D) Aisle Width (feet)	(E) Curb Length (feet)	(F1) Curb-to-Curb (feet)	(F2) Overlap Curb-to-Curb (feet)

C. Parking Surfaces?

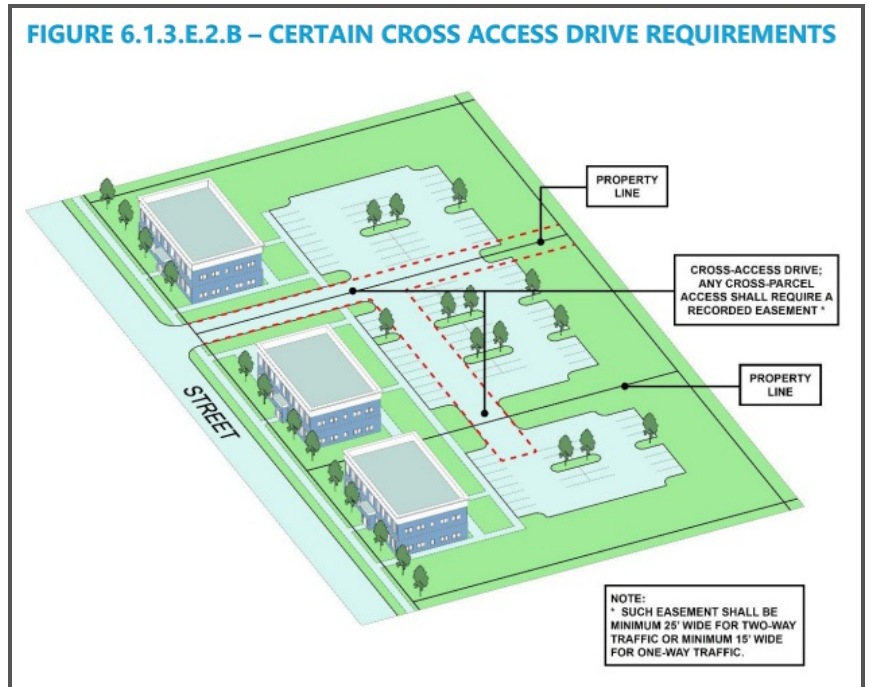
D. Markings and Traffic Control Devices

1. Delineation: The property owner shall delineate all required **parking and loading spaces**, specialized spaces, **stacking lanes**, disabled parking spaces, directional arrows, **crosswalks**, and maneuvering areas within parking areas using high contrast markings or other methods approved by the Director of Planning and Development Services, or a designee.
 - o **As discussed in an earlier comment, provide some additional delineation/texturing prior to the required pedestrian walkway. Provide this at the crosswalk accessing the handicapped spaces as well.**
2. Signage: The Director of Planning and Development Services, or a designee, may require a developer to install signage in addition to directional arrows to ensure the safe and efficient flow of vehicles in a parking area or structure.
 - o **As discussed in an earlier comment, provide a pedestrian crossing or similar sign prior to or alongside the required pedestrian walkway. Provide a similar sign(s) at the crosswalk accessing the handicapped spaces. This sign(s) should also remind those in the drive through to keep the handicapped crosswalk unobstructed for the handicapped patrons.**

E. Driveways

1. Approvals
2. Combined Driveways and Cross-Access Drives
 - o **Applicability**
 - The following provisions shall apply to all **new office or commercial buildings** (or expansions, replacements or redevelopments of ten thousand (10,000) square feet or greater of building area) in the LO, GO, **GB**, PB, LB, HB, or IP zoning districts along designated collector, minor thoroughfare, or major thoroughfare streets.
 - N/A.
 - **See Section 6.1.5L, Combined Driveways and Access, for the incentive to provide combined driveways and connections in these instances.**
 - **Any cross-parcel access shall be formalized through the recordation of an easement.**
 - o **Cross-Access Drives**: Cross-access drives shall be constructed within a designated cross-access easement (minimum twenty-five (25) foot wide for two-way traffic and minimum fifteen (15) foot wide for one-way traffic) and shall be required to connect to no more than two (2) adjoining properties except when the waivers specified in Section 6.1.3E.2.e, Cross-access Waivers, below apply.

FIGURE 6.1.3.E.2.B – CERTAIN CROSS ACCESS DRIVE REQUIREMENTS

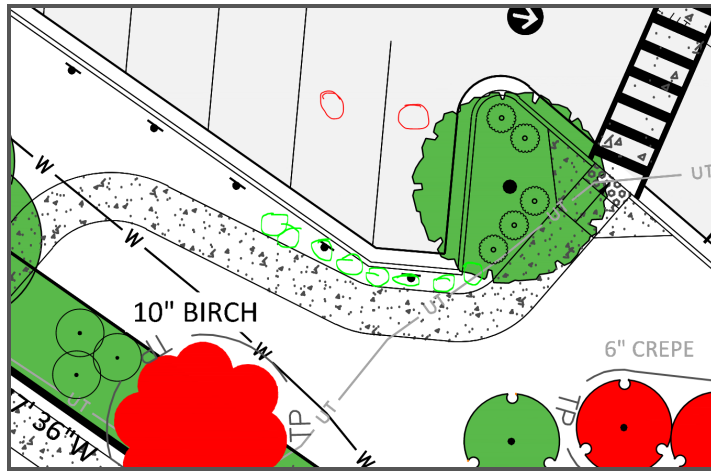


- **A 25' cross access connection to the northeastern parcel is required. You are showing this on your site plan. Please show the easement and the drive aisle extending all the way to the property line.**
 - **One of your connections to the private access easement is 24' wide. It needs to be at least 25' wide.**
 - **The two 25' cross access connections to the private access easement will need to meet this standard as well by showing the easements connecting to the private access easement.**
 - **Maintenance:** When a cross-access easement is created to serve more than one lot, a binding contract or an owner's association agreement is required for maintenance and shall be recorded by separate instrument.
 - **Easement Recordation:** A cross-access easement shall be recorded on a final plat, or recorded by separate instrument when no plat is proposed.
3. Dimensional Requirements for Access Drives
 4. Driveways for Large Parking Areas (One Hundred (100) or More Spaces): N/A

F. Drive-Through Facility Stacking Lanes?

G. Parking Adjacent to Sidewalks

- Where parking abuts a sidewalk, one (1) of the sidewalk treatment options in Table 6.1.3G shall be met (see Figure 6.1.3G below).
 - **?The two spaces close to the pedestrian sidewalk meet the requirements for the 5' sidewalk with 2' planting strip or with a wheel stop.**
 - **Either provide a wheel stop that meets the requirements below or make sure something is planted in the "planting strips" below where parking spaces need treatment:**



- All wheel stops shall be two (2) feet from the front end of the parking space for front-end parking and four (4) feet from the front of the parking space for rear-end parking.

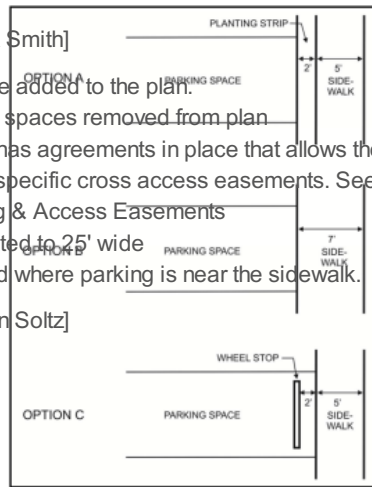
TABLE 6.1.3.G: SIDEWALK TREATMENTS	
SIDEWALK TREATMENT	MINIMUM SIDEWALK WIDTH (FT.)
Option A: (Minimum 2 foot wide planting strip)	5
Option B: (Curb or No Wheel Stop)	7
Option C: (Wheel Stop with 2 foot separation from sidewalk)	5

FIGURE 6.1.3.G: SIDEWALK TREATMENTS

[Ver. 4] [Edited By Nick Smith]

- Pedestrian signage added to the plan.
- 90 degree parking spaces removed from plan
- This development has agreements in place that allows the cross access of all projects. There is no need to show site specific cross access easements. See BK 2755 PG 1869 & BK 2580 PG 1308 - Section 6 Parking & Access Easements
- Access drive updated to 25' wide
- Wheel stops added where parking is near the sidewalk.

[Ver. 2] [Edited By Brian Soltz]

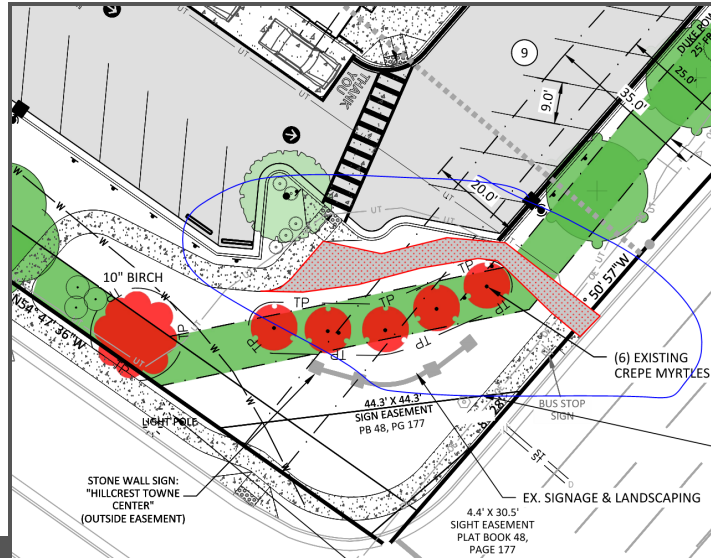


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- H. Parking in Required Yards
- I. Landscaping and Screening
- J. Lighting
- K. Drainage

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 Nick Smith
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nicks@cityofws.org
 2/29/24 9:22 AM
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- The cross access connection will need to be built all the way to the northeastern property line, per the UDO 6.1.3.A.2.b.
- S. Stratford is a sidewalk designated major thoroughfare (boulevard) according to the CTP. As discussed in the Interdepartmental meeting, this will require an additional pedestrian connection to the sidewalk network, which at this stage, could function as a loop, like so:



Closed Issues: 9

Planning

[Ver. 7] [Edited By Nick Smith]

General Issues
Sambatek - Raleigh, NC Office

Plan has been revised to show a direct pedestrian access to Stratford Road.

3. Elevations

9198486121
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cnichols@sambatek.com
 Nick Smith
 2/29/24 1:08 PM
 336-747-7064
 01.03a) PC Review - 3
nicks@cityofws.org

Elevations will be required prior to filing deadline.

1/29/24 4:19 PM
 Morningstar Law Group
 Pre-Submittal Workflow - 1
 Keenan Conder

Plan has been revised consistent with this comment. Thank you!

919-590-0371
 Morningstar Law Group
kconder@morningstarlawgroup.com
 Keenan Conder
 2/29/24 4:52 PM
 919-590-0371
 01.03a) PC Review - 3
kconder@morningstarlawgroup.com
 2/2/24 1:32 PM
 Pre-Submittal Workflow - 1

These will be provided.

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Elevations provided

Issue Closed

4. COUNCIL MEMBER CONTACT

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nicks@cityofws.org
 1/29/24 4:19 PM
 Pre-Submittal Workflow - 1

Please ensure that you have contacted the appropriate Council Member and/or the Community Assistance Liaison for their office prior to the Planning Board Hearing. Be advised that Council Members may want to participate in any community outreach efforts . Information for each Council Member can be found on their website here: <https://www.cityofws.org/564/City-Council>

<p>Morningstar Law Group Keenan Conder 919-590-0371 kconder@morningstarlawgroup.com 2/2/24 1:32 PM Pre-Submittal Workflow - 1</p>	We will do this.
<p>City of Winston-Salem Nick Smith 336-747-7064 nicks@cityofws.org 2/5/24 8:50 AM Pre-Submittal Workflow - 1</p>	Issue Closed

5. Rezoning

<p>City of Winston-Salem Nick Smith 336-747-7064 nicks@cityofws.org 1/29/24 4:20 PM Pre-Submittal Workflow - 1</p>	Review conditions of overall site from Sketch Plan. Conditions will carry over onto this development.
<p>Morningstar Law Group Keenan Conder 919-590-0371 kconder@morningstarlawgroup.com 2/2/24 1:32 PM Pre-Submittal Workflow - 1</p>	We understand. Thank you!
<p>City of Winston-Salem Nick Smith 336-747-7064 nicks@cityofws.org 2/5/24 8:50 AM Pre-Submittal Workflow - 1</p>	Issue Closed

6. Community Outreach Deadline

<p>City of Winston-Salem Nick Smith 336-747-7064 nicks@cityofws.org 1/29/24 5:08 PM Pre-Submittal Workflow - 1</p>	<p>Please ensure that you have submitted the required neighborhood outreach summary by the deadline as required in UDO ClearCode and referenced in the Planning Board Calendar of Significant Dates located here: https://www.cityofws.org/1564/Monthly-Planning-Board-Items.</p>
<p>Morningstar Law Group Keenan Conder 919-590-0371 kconder@morningstarlawgroup.com 2/2/24 1:33 PM Pre-Submittal Workflow - 1</p>	We have this deadline bookmarked. Thank you.
<p>City of Winston-Salem Nick Smith 336-747-7064 nicks@cityofws.org 2/5/24 8:50 AM Pre-Submittal Workflow - 1</p>	Issue Closed

Zoning

General Issues

20. UDO 6.2.1 - Landscaping & Tree Preservation Standards, Winston-Salem

Section 6.2.1.C - Tree Preservation and Planting (Tree Save Area)

A. Exemptions from Tree Preservation and Planting Requirements

The following are exempt from the tree preservation and planting requirements of this Ordinance:

- **No exemptions apply to this project.**

B. Requirements in Type 1 Areas

1. Type 1 Areas Defined: Type 1 Areas include the following locations and types of development:

- **Proposals where a grading permit is required for development of five (5) acres or less;**
- Land in the PB district;
- **Development entirely within activity centers designated in Legacy or adopted area plans;**
- Redevelopment of already-developed non-residentially zoned sites containing existing nonresidential structures; and
- Qualifying residential development zoned RS or RM-5.

2. Tree Save Area Defined

- **Tree save area(s) (TSA) shall be one or more areas where existing trees, along with their critical root zones (CRZ), shall be preserved and maintained.**
- **The purpose of the TSA is to encourage the preservation of individual healthy trees that are six (6) inches or greater in diameter at breast height (DBH)(4.5 feet above ground), and/or healthy stands of trees containing a variety of tree species with trees of various ages, including mature and maturing trees, meeting the requirements of this Ordinance.**
- **In determining the extent of a tree stand area, trees four (4) inches or greater DBH may be considered within the tree save area boundaries.**
- **Tree save area(s) may also include new trees which satisfy the requirements of Section 6.2.1C.2.e, Tree Planting Requirements for Multifamily and Nonresidential Development.**

3. Calculations of Required TSA

- Calculations for TSA shall exclude the following:
 1. Square footage areas for existing and proposed public street rights-of-way;
 2. **Existing utility easements;**
 3. Existing water bodies; and
 4. New water bodies required to satisfy the stormwater management requirements otherwise required by law or ordinance.
- The combined square footage of these areas shall be deleted from the total parcel area for new development and from the limits of disturbed areas for additional development to an already developed site before the required percentage of TSA is calculated.
- Tree save area shall be calculated as follows:
 1. **Stands of Trees**
 - The tree save area for a stand of trees shall be calculated as the acreage that stand of trees occupies.
 - Stands of trees shall be exempt from the species requirements of this Ordinance (Section 6.2.1J, Suggested Plant Materials List) as long as a stand of trees is determined to meet the intent of the tree save area requirements of this Ordinance.
 - However, no stand consisting primarily of species prohibited from ordinance credit in accordance with Section 6.2.1J.5, shall be counted towards the tree save area requirements.
 2. **Individual Trees**: The tree save area for an individual existing tree shall be defined as the critical root zone for that individual tree or the sum of the critical root zones of multiple individual trees.
 - **Each large variety tree 6"—9" inches in caliper shall equal five hundred (500) square feet of TSA credit;**
 - **Each large variety tree 9.01"—12" in caliper shall equal seven hundred fifty (750) square feet of TSA credit;**
 - Each large variety tree 12.01"—24" in caliper shall equal one thousand eight hundred (1,800) square feet of TSA credit;
 - Each large variety tree 24.01"—36" in caliper shall equal three thousand (3,000)

square feet of TSA credit; and

- Each large variety tree greater than 36.01" in caliper shall equal four thousand (4,000) square feet of TSA credit.

◦ Either method of calculation listed above, or a combination of both methods, may be used to satisfy the tree save area requirements of this Ordinance.

4. Required Type 1 TSA in Locations Off-Limits to Development

◦ **The minimum tree save area for new residential subdivisions, multifamily development, and nonresidential development which requires a grading permit shall be ten percent (10%) of the development site, except where less than ten percent (10%) of the development site exists in trees all existing trees must be saved.**

- **?Less than 10% of the parcel exists in trees, therefore all trees need to be saved, including the below trees, if feasible:**



- N/A.
- N/A.
- N/A.
- N/A.

5. Tree Planting Requirements for Multifamily and Non-Residential Development

◦ On multifamily and nonresidential development sites where less than ten percent (10%) of a development site contains trees preserved in accordance with Section 6.2.1C.2.d, Required Type 1 Tree Save Area in Locations Off-Limits to Development, supplementary new large variety tree plantings in accordance with Section 6.2.1J, Suggested Plant Materials List, and Section 6.2.1D.2.c, Number and Spacing of Trees, shall be required until the minimum tree save area requirements of the development site have been met.

- **??Additional large variety trees are supplemental to the existing trees on site.**

◦ Each new large variety tree planted shall be equal to seven hundred fifty (750) square feet of required tree save area. Alternatively, trees existing outside of areas defined as off-limits to development in Section 6.2.1C.2.d, Required Type 1 Tree Save Area in Locations Off-Limits to Development, may be saved for credit in accordance with Section 6.2.1C.2.c, Calculation of Required Tree Save Area.

6. Tree Protection During Constructions: To receive credit for existing trees proposed for preservation, the TSA must be protected from direct and indirect root damage, and trunk and crown disturbance. The following standards shall apply:

- **The tree save area (TSA) shall include all area located within the critical root zone.**
- **Construction site activities, such as parking, material storage, dirt stockpiling, concrete washout, and other similar activities, shall not be permitted within a tree save area (TSA).**
- **Protective barriers shall be installed around the tree save area (TSA) as necessary prior to the issuance of a grading permit.**

C. Requirements in Type 2 Areas

- ?N/A.

D. Alternative Compliance for Determination of Tree Save Area

1. Alternative Compliance for Removing Existing Required Trees

- In situations where the preservation of some or all of the required trees on site would prevent the reasonable development of a site, the Inspections Director or designee may waive some or all of the tree preservation requirements of this section. In making his decision, the Inspections Director may consider the following factors:
 1. Site layout, including whether there are reasonable site layout options available that would further minimize the need to waive or reduce the tree preservation requirements.
 2. Conformance of the proposed development with the Legacy recommendations of balancing open space preservation with encouraging an urban form of development.
 3. Conformance of the proposed development with the recommendations of area plans and other adopted documents relating to or affecting the planned uses of land for the site in question.
 4. Topography.
 5. Surrounding development patterns.
 6. The size, health, and species of existing trees proposed to be removed.
 7. Other site development issues not identified above.
 - Where existing trees are not preserved, the replanting requirements of Section 6.2.1C.3.e, Requirements for Sites Without Adequate Existing Trees, shall be met. Alternatively, qualifying existing trees on contiguous parcels may also be preserved for alternative compliance credit. TSA credit may also be provided through the acquisition, donation, and acceptance of forested parkland by the governmental jurisdiction which holds zoning authority for the jurisdiction in which the development takes place.
 - Appeals of the decision of the Inspections Director may be made to the Elected Body.
2. Alternative Compliance for Removing Trees in Floodplains
- Development proposals for recreational purposes which remove existing trees in floodplains that would otherwise be required to be saved in accordance with Section 6.2.1C.2.d, Required Type 1 Tree Save Area in Locations Off-Limits to Development, may be approved where existing trees meeting the requirements of Section 6.2.1C, Tree Preservation and Planting, are preserved elsewhere on site.
 - Alternatively, development proposals may be approved through special use district zoning.

E. Incentives for Increased Tree Save Area

1. Setback Reduction for Increased Tree Save Area: Developments which set aside twenty percent (20%) or more of a site as tree save area in common open space shall receive reduced internal and sideyard setbacks of up to thirty-five percent (35%) of requirements.
2. Ribbon pavement for Increased Tree Save Area
 - Developments which set aside thirty percent (30%) or more of a site as tree save area in common open space may utilize ribbon paving and reduced pavement widths for internal streets with the approval of the Assistant City Manager of Public Works.
 - Additionally, such development may use gravel or other improved soft surface as a substitute for paved sidewalks which are internal to the development.

F. Tree Maintenance Requirements

1. Residential Subdivisions
 - N/A.
2. Multifamily and Non-Residential Development
 - **New and existing trees which meet the tree preservation requirements in multifamily developments and nonresidential developments shall be maintained in accordance with the requirements of Section 6.2.1B.7, Planting and Maintenance.**
 - **Existing or newly planted trees also used to satisfy the requirements of Section 6.2.1A.2, Applicability, of this Ordinance shall also be maintained according to Section 6.2.1B.7, Planting and Maintenance.**

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 2/23/24 9:48 AM
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 2

Trees save has been updated to include some trees near the existing sign. The tree near the intersection of Hillcrest Center Dr & Winterhaven Ln cant be saved due to access drive construction and sidewalks.

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 Nick Smith
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 2/28/24 3:44 PM
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No worries about the existing tree that can't be saved.
 Issue Closed

21. UDO 6.2.1 - Landscaping & Tree Preservation Standards, Winston-Salem

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 nicks@cityofws.org
 2/14/24 3:51 PM
 01.03) Rezoning-
 Special Use District - 2

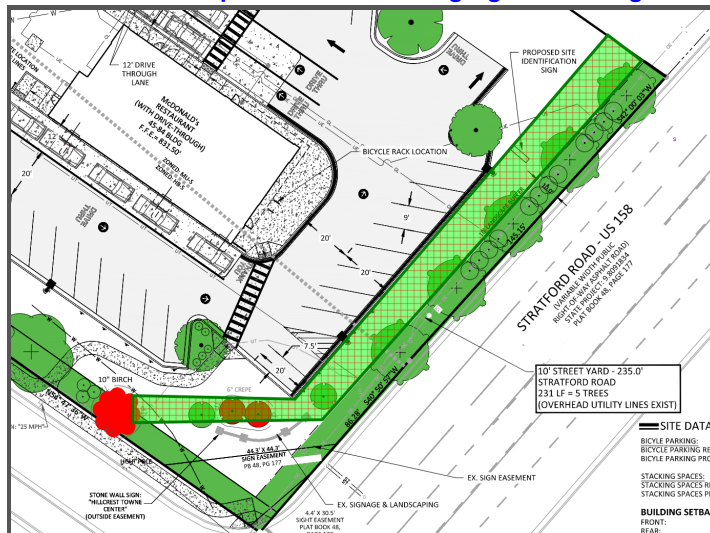
Section 6.2.1.D.2 - Streetyards

A landscaped streetyard shall be required for all motor vehicle surface areas located within one hundred (100) feet of a street right-of-way or vehicular right-of-way, including controlled access highways, whether or not it may provide access to the site, unless separated by an intervening building.

- A streetyard will be required along the private access easement, as it is "Vehicular ROW."

Streetyard Width

- Minimum streetyard width is ten (10) feet, and shall be measured perpendicular to the street right-of-way.?
- The streetyard shall be positioned between the motor vehicle surface area and street right-of-way.
 - ?To avoid the overhead utility line and ensure visibility of the complex's Hillcrest sign, planning staff recommends reorienting your streetyard in a variation of the following way, which would also create a better location near S. Stratford for the on-premises freestanding sign advertising McDonald's:



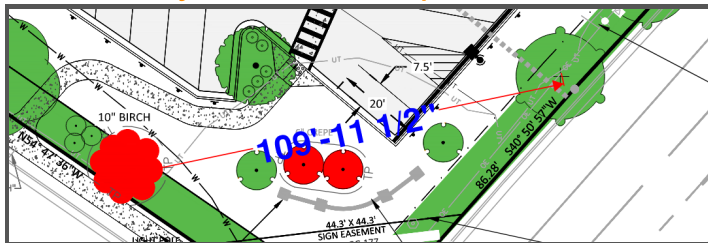
- N/A.
- N/A.

Streetyard Impervious Surface Cover

A maximum of fifteen percent (15%) of the required streetyard may be covered with impervious surface cover which may be used for walkways, fountains, walls, wall planters, or utility meters and vaults, but may not be used for motor vehicle surface or display, outdoor storage, private utility service, or service areas.

Number & Spacing of Trees

- All streetyards must contain at least one (1) tree.
- Each streetyard shall contain a minimum of two (2) deciduous or evergreen large variety trees per one hundred (100) linear feet, excluding points of motor vehicle ingress or egress.
 - **230' of frontage along the private access easement will require five (5) large variety trees.**
- Required trees must be a minimum of eight (8) feet in height at installation and shall be at least two (2) inches in diameter measured six (6) inches above ground level.
 - **??Not a problem at this stage; however, be prepared to provide this information at time of permitting.**
- **(By the time of permitting)** Where two (2) or more streetyard trees are required, all trees shall be planted with the center of the main trunks twenty (20) to seventy-five (75) feet apart.
 - **?Without adjusting the streetyard layout in a variation of what is suggested, these two streetyard trees are too far apart:**



- Existing deciduous trees located in the abutting street right-of-way may be used to satisfy the distribution requirements in this section.
- Small or medium variety trees may be used where overhead utility lines exist in accordance with Section 6.2.1B.10, Overhead Utility Lines.
 - **It appears that small or medium variety trees are being used along S. Stratford Road. However, there is not a legend for what the different tree symbols mean. If possible, please provide a tree symbol legend in your next submittal.**

Other Streetyard Components

In addition to required trees, the landowner or developer shall use one of the following, or a combination thereof, to satisfy streetyard requirements:

- **Natural Shrubs**
 - Streetyard shrubs must be a minimum of eighteen (18) inches in height at installation, with a minimum height of thirty-six (36) inches within three (3) years after installation.
 - **??Not a problem at this stage; however, be prepared to provide this information at time of permitting.**
 - Shrubs must be a locally adapted species which retain foliage to within six (6) inches above ground level.
 - **?Not a problem at this stage; however, be prepared to provide this information at time of permitting.**
 - **(By the time of permitting)** Shrubs shall be spaced no more than eighteen (18) inches, edge to edge.
 - **?There needs to be a continuous line of shrubs all the way around the streetyards. Gaps of greater than 18\"**
 - No more than thirty percent (30%) of streetyard shrubs shall be deciduous.
 - **??Not a problem at this stage; however, be prepared to provide this information at time of permitting.**
- **Fences & Walls**
 - A streetyard fence or wall shall be a minimum of thirty-six (36) inches in height, opaque, and shall be constructed of masonry, stone, or wooden material, or of the same material as that of the principal building.

- **Wall Planters**

- A streetyard wall planter shall be constructed of masonry, stone, or other permanent material.
- At installation, the minimum combined height of wall planters and shrubs shall be twenty-four (24) inches.
- Within three (3) years after installation, the combined height of wall planters and shrubs shall be no less than thirty-six (36) inches.
- The effective planting width of a streetyard wall planter shall be no less than thirty-six (36) inches; however, where required streetyard trees are installed in wall planters, the effective planting width of the wall planters shall be no less than seven (7) feet.
- A minimum of one shrub shall be required for every five (5) square feet of wall planter area.

- **Earthen Berms**

- At installation, streetyard berms shall have a minimum height of eighteen (18) inches, a minimum crown width of two (2) feet, and a side slope with a width to height ratio of no greater than two (2) to one (2:1).
- The entire berm shall be planted and covered with live vegetation.
- Berm shrubs shall be a minimum of one foot in height at installation and shall be spaced no greater than eighteen (18) inches, edge to edge.
- Within three (3) years after installation, the combined height of berm and shrubs must be at least thirty-six (36) inches.
- Streetyard berms which are thirty-six (36) inches or greater in height at installation shall not be required to contain shrubs; however, streetyard trees shall still be required as specified in this section.

CB & CI Districts

- N/A.

PB District

- N/A.

[Ver. 2] [Edited By Nick Smith]

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 2/23/24 9:52 AM
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- 10 street yard added to Winterhaven Ln
- Front street yard adjusted as recommended.
- Additional landscaping added for compliance.

[Ver. 3] [Edited By Brian Soltz]

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 2/28/24 4:46 PM
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Issue Closed

22. UDO 6.2.1 - Landscaping & Tree Preservation Standards, Winston-Salem

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 2/14/24 4:02 PM
 01.03) Rezoning-Special Use District - 2

Section 6.2.1.D.3 - Interior Motor Vehicle Surface Area (MVSA) Plantings

In addition to the required streetyard, all motor vehicle surface areas shall contain landscaped planting areas, as follows:

Location of Plantings

Interior planting areas shall be located adjacent to motor vehicle surface area edges or within the interior as islands or medians, and may contain berms of the minimum dimensions specified in Section 6.2.1D.2.d.iv, Earthen Berms.

- **Planting areas must be 5' in width, so MVSA-designated trees must be within 5' of MVSA, where feasible.**

Size of Planting Areas

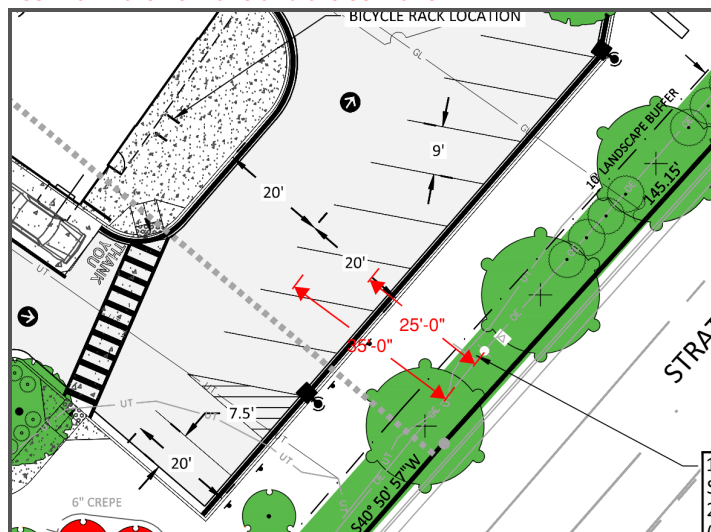
- Each planting area shall allocate a minimum of one hundred fifty (150) square feet per tree.
 - **?For each small or medium tree for the southeastern parking spaces, if needed, 150 SQFT of MVSA planting area outside of the Stretyard planting area is required (As discussed near the end of this comment, Stretyard planting area SQFT and MVSA planting area SQFT cannot double-count.**
- Each planting area shall allocate a minimum of six hundred (600) square feet for each large variety tree.
 - **?For six (6) large variety trees, 3,600 SQFT of planting area is required, with 600 SQFT for each large variety tree. After you designate your six (6) required MVSA trees, ensure that enough designated MVSA planting area is available for those MVSA designated trees.**
- Each planting area shall allocate a minimum radius of seven (7) feet for each small or medium variety tree.
 - **?MVSA-designated small or medium variety trees will need this planting area.**
- Each large variety tree planted shall provide a seven hundred fifty (750) square foot credit towards the requirements of Section 6.2.1C, Tree Preservation and Planting.

Required Trees in Planting Area

- Each planting area shall contain at least one deciduous or evergreen large variety tree.
- The required deciduous or evergreen large variety tree for each planting area shall be a minimum height of eight (8) feet at the time of installation and shall have a minimum diameter of two (2) inches measured six (6) inches above ground level.
 - **?Not an issue at this stage; be prepared to address this at the time of permitting.**
- **Overhead Utility Lines:** Small or medium variety trees may be used where overhead utility lines exist in accordance with Section 6.2.1B.10, Overhead Utility Lines.
 - **?The southeastern parking spaces are within the Overhead Utility Line bufferzones.**

Ratio

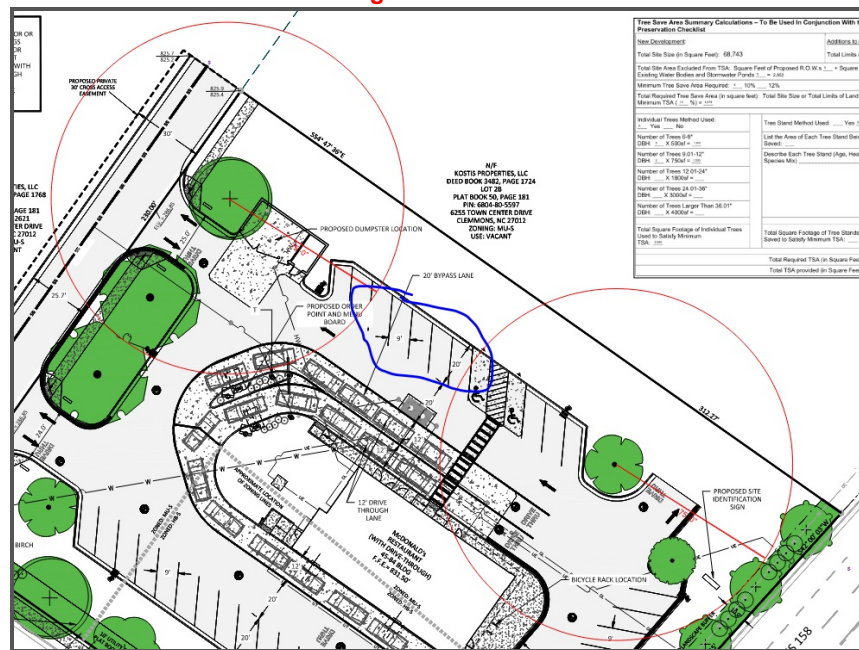
- One large variety tree shall be used for every five thousand (5,000) square feet of MVSA.
 - **According to the "Pavement to Land" calculation, there are 33,105.6 SQFT of MVSA on site.**
 - **Six (6) designated large variety MVSA trees will be required. Please clearly label which large variety trees are the site's MVSA trees.**
- **Overhead Utility Lines:** One small or medium variety deciduous or evergreen tree shall be required for every two thousand five hundred (2,500) square feet of MVSA where overhead utility lines exist in accordance with Section 6.2.1B.10, Overhead Utility Lines.
 - **?Some of the southeastern parking lot falls within the 25' and 35' Overhead Utility Line bufferzones. Please provide calculations about how much MVSA lies within the 25' zone and the 35' zone:**



- **N/A.**
- One small variety tree with a minimum height of eight (8) feet at the time of installation and a minimum diameter of two (2) inches measured six (6) inches above ground level, and four (4) natural shrubs meeting the standards of Section 6.2.1D.2.d.i, Natural Shrubs, shall be required for every one hundred (100) square feet of planting area.
 - **?If any MVSA trees are small variety, 4 additional nearby shrubs will be required.**
- Planting areas shall be at least five (5) feet wide, unless otherwise approved by the Director of Planning and Development Services, or a designee.
- Existing parking spaces removed to accommodate this landscaping requirement shall not be required to be replaced elsewhere on site.

Distance of Parking Spaces to Trees

- No parking space shall be located more than seventy-five (75) feet from the trunk of a required large variety tree
 - **?Show the 75' radius measurements from your MVSA-designated trees to ensure tree coverage.**
- **Overhead Utility Lines:** Where overhead utility lines exist in accordance with Section 6.2.1B.10, Overhead Utility Lines, no parking space shall be located more than fifty (50) feet from the trunk of a required small or medium variety tree, unless otherwise authorized in this Ordinance.
 - **?The parking spaces located along S. Stratford Road is located within the Overhead Utility line bufferzones, and each one will need to be covered by a small or medium MVSA-designated tree's 50' radius.**



- **N/A.**
- **N/A.**

Loading/Maneuvering Areas

N/A.

Credit for Streetyard or Bufferyard Trees

Deciduous or broadleaf evergreen trees used as streetyard or bufferyard plantings may be used as credit toward interior planting area requirements, provided that streetyard or bufferyard plantings meet the size requirements of Section 6.3.3B, Design Requirements, and the distance requirements of Section 6.2.1D.3.e, Distance of Parking Spaces to Trees.

- Streetyard trees may be used to meet MVSA tree requirements.
- However, Streetyard Planting Area cannot be used for the MVSA Planting Area SQFT requirements.

Credit for Bufferyard Area

N/A.

Alternative Compliance for Large Parking Lots

N/A

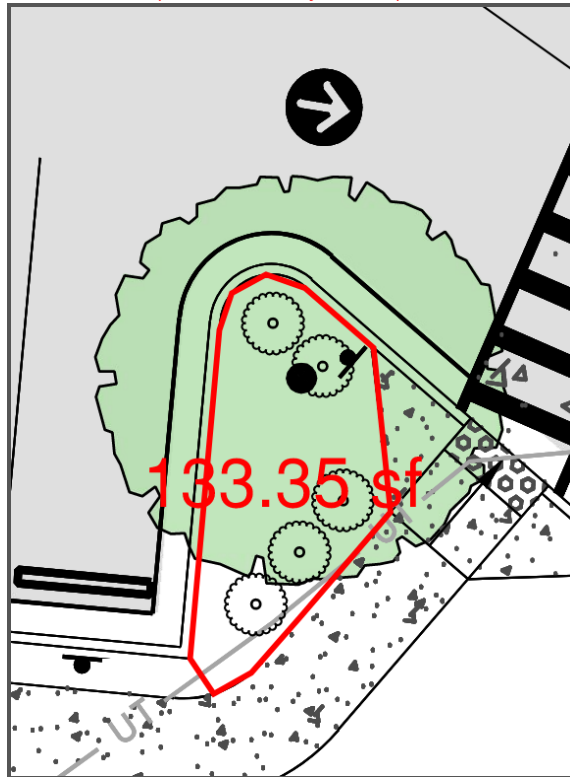
[Ver. 5] [Edited By Nick Smith]

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- 6 trees shown in different color accounting for MVSA required plantings
- Overhead buffer zone calculations added

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2/28/24 4:44 PM
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- The tree shown below cannot count as an MVSA tree, because it does not have either 150 SQFT (Small or Medium tree) or 600 SQFT (large variety tree) of planting area. **However, it does appear that other trees cover the necessary radius of parking coverage and have enough planting area.** All parking spaces are covered by different trees. **Label one additional tree (can be a streetyard tree) to count as the sixth MVSA tree.**



- One small variety tree with a minimum height of eight (8) feet at the time of installation and a minimum diameter of two (2) inches measured six (6) inches above ground level, and four (4) natural shrubs meeting the standards of Section 6.2.1D.2.d.i, Natural Shrubs, shall be required for every one hundred (100) square feet of planting area.
 - **Due to the above tree not counting towards MVSA requirements due to the amount of planting area provided, one of the small variety trees within the streetyard can count as a MVSA tree. This designated small variety tree will need 4 additional nearby shrubs.**

[Ver. 4] [Edited By Nick Smith]

<p>Sambatek - Raleigh, NC Office Chris Nichols 9198486121 cnichols@sambatek.com 2/29/24 1:06 PM 01.03a) PC Review - 3</p>	<p>Revised plan showing one street yard tree as a MVSA tree and added 4 additional shrubs. Tree Save calculations adjusted accordingly.</p>
<p>City of Winston-Salem Nick Smith 336-747-7064 nicks@cityofws.org 2/29/24 2:49 PM 01.03a) PC Review - 3</p>	<p>Issue Closed</p>

23. UDO 6.2.1 - Landscaping & Tree Preservation Standards, Winston-Salem

<p>City of Winston-Salem Nick Smith 336-747-7064 nicks@cityofws.org 2/14/24 12:52 PM 01.03) Rezoning-Special Use District - 2</p>	<p><u>Section 6.2.1.F - Outdoor Storage Area Screening Standards</u></p> <p>A. Applicability</p> <ol style="list-style-type: none"> Any outdoor storage area not screened from any public or private street by an intervening building built after the adoption of this Ordinance with a linear dimension of fifteen (15) feet or greater, or any dumpster with a linear dimension of five (5) feet or greater and not screened by an intervening building shall be screened from view from any street right-of-way or vehicular right-of-way including controlled access highways, whether or not it may provide access to the site, for its entire length except for necessary access. <ul style="list-style-type: none"> Screening shall be required on all four sides of the dumpster. N/A. <p>B. Screening: Outdoor storage area screening shall be provided as specified in either of the conditions in Section 6.2.1F, Outdoor Storage Area Screening Standards, or as a combination of the two (2) conditions:</p> <ul style="list-style-type: none"> Provide details about how the dumpster is being screened. <ol style="list-style-type: none"> Fencing <ul style="list-style-type: none"> A fence or wall may be used to screen an outdoor storage area. The fence or wall shall be at least six (6) feet in height, opaque and of masonry, stone or wooden material, or of the same material as that of the principal building. Plantings: Natural evergreen plant materials may also be used to screen an outdoor storage area as follows: (Suggested plant materials are listed in Section 6.2.1J, Suggested Plant Materials List) <ol style="list-style-type: none"> Minimum Height: The minimum height of the plant material shall be six (6) feet at installation; and Spacing: The spacing of the planting shall be in a double-row configuration, staggered, with five (5) foot spacing between the centers of the main trunks.
<p>Sambatek - Raleigh, NC Office Brian Soltz 9198486121 bsoltz@sambatek.com 2/23/24 9:58 AM 01.03) Rezoning-Special Use District - 2</p>	<ul style="list-style-type: none"> A label has been added to the dumpster enclosure (outdoor storage) describing the screening material. Dumpster landscaping added <p>[Ver. 3] [Edited By Brian Soltz]</p>

City of Winston-Salem Issue Closed
Nick Smith

24. **UDO 6.6 - Exterior Lighting**

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Section 6.6 - Exterior Lighting

Section 6.6.1 - Applicability

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01.03) Rezoning-
Special Use District - 2

A. Generally: The standards in this section shall apply to lighting for principal buildings submitted for permitting after January 7, 2019 on zoning lots that are adjacent to a public street or to residential zoning, or lighting for outdoor recreation uses and stadiums as described in Section 6.6.3, Lighting for Outdoor Recreation Uses and Stadiums, below.

B. Exemptions: This section shall not apply to:

- **No exemptions apply.**

C. Conflict: N/A.

Section 6.6.2 - General Requirements

A. Lighting Plan

1. A lighting plan prepared by a lighting certified (LC) lighting professional or a professional engineer licensed in the State of North Carolina shall demonstrate that all exterior lighting is designed, located, and installed in such a manner that light levels measured at the residential property line and the public right-of-way do not exceed one-half (1/2) footcandle.
2. Prior to the issuance of a certificate of occupancy, the LC lighting professional or professional engineer shall certify in writing that that lighting was installed per the approved plans.

B. Light Level Measurement

1. Light levels are specified, calculated, and measured in footcandles.
2. All values are initial footcandles.
3. Measurements shall be made at ground level with the light-registering portion of the meter held horizontally pointing up.

C. Parking Lot Lighting

1. Parking lot lighting shall utilize fixtures certified as full cutoff or LED BUG-rated fixtures with an upright rating of U0 and a maximum glare rating of G3.
2. Lights mounted on poles shall have a maximum pole height of thirty (30) feet and shall not be mounted greater than thirty-two feet (32) feet above grade including any base or mounting structure.
3. Non-shielded wall packs and high-intensity light beams, such as outdoor searchlights, lasers, or strobe lights are prohibited.
4. Routine maintenance of existing lighting, including changing the lamp, ballast, starter, photo control, fixture housing, lens, and other required components is allowed for all existing fixtures. A lighting plan is not required for such changes.

Section 6.6.3 - Lighting for Outdoor Recreation Uses and Stadiums

N/A

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Understood that this is for final plans stage of this project and not necessary for rezoning.

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01.03a) PC Review - 3