

# INTERLANDI AND ASSOCIATES

*Custom Home Designs*

PHONE: 336-993-4252 - 950 GRAVES STREET, SUITE E - KERNERSVILLE, NC 27284 - FAX: 336-993-4008  
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## THE CHESTNUT (GLABEX 1)

*Designed For:*  
**GLABEX CONSORTIUM**

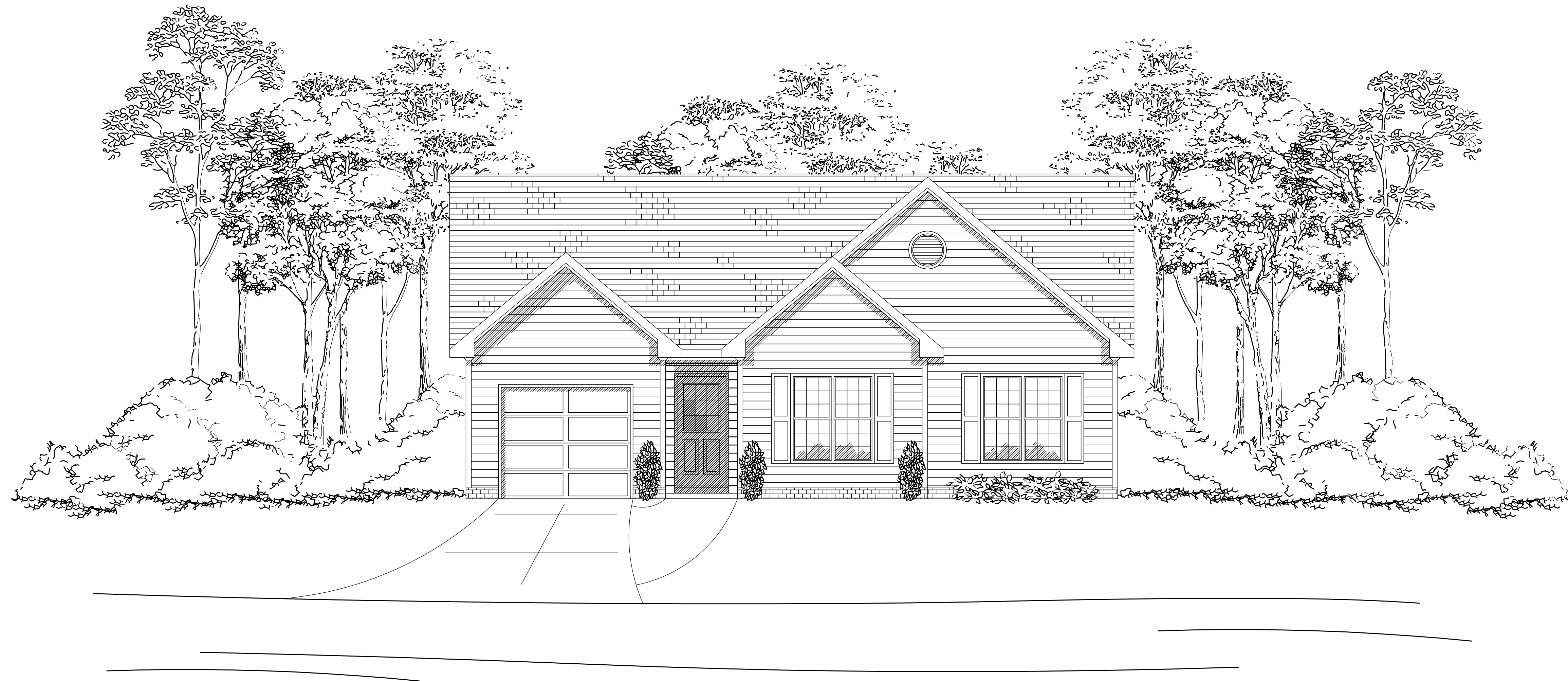
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PAGE A3 - FIRST FLOOR PLAN / ROOF PLAN

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## THE AUBURN

(GLABEX 2)

*Designed For:*

### GLABEX CONSORTIUM

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## ELEVATION NOTES

### WATER AND MOISTURE PROTECTION

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2. ALL BUILDING EXTERIOR SURFACE PENETRATIONS WITH POTENTIAL EXPOSURE TO WEATHER SHALL BE FLASHED AND/OR CAULKED PER CODE AND/OR INDUSTRY-RECOGNIZED PROPER CONSTRUCTION TECHNIQUES. ALL ROOF SHINGLE FLASHING AGAINST A VERTICAL SURFACE SHALL BE STEP FLASHING.
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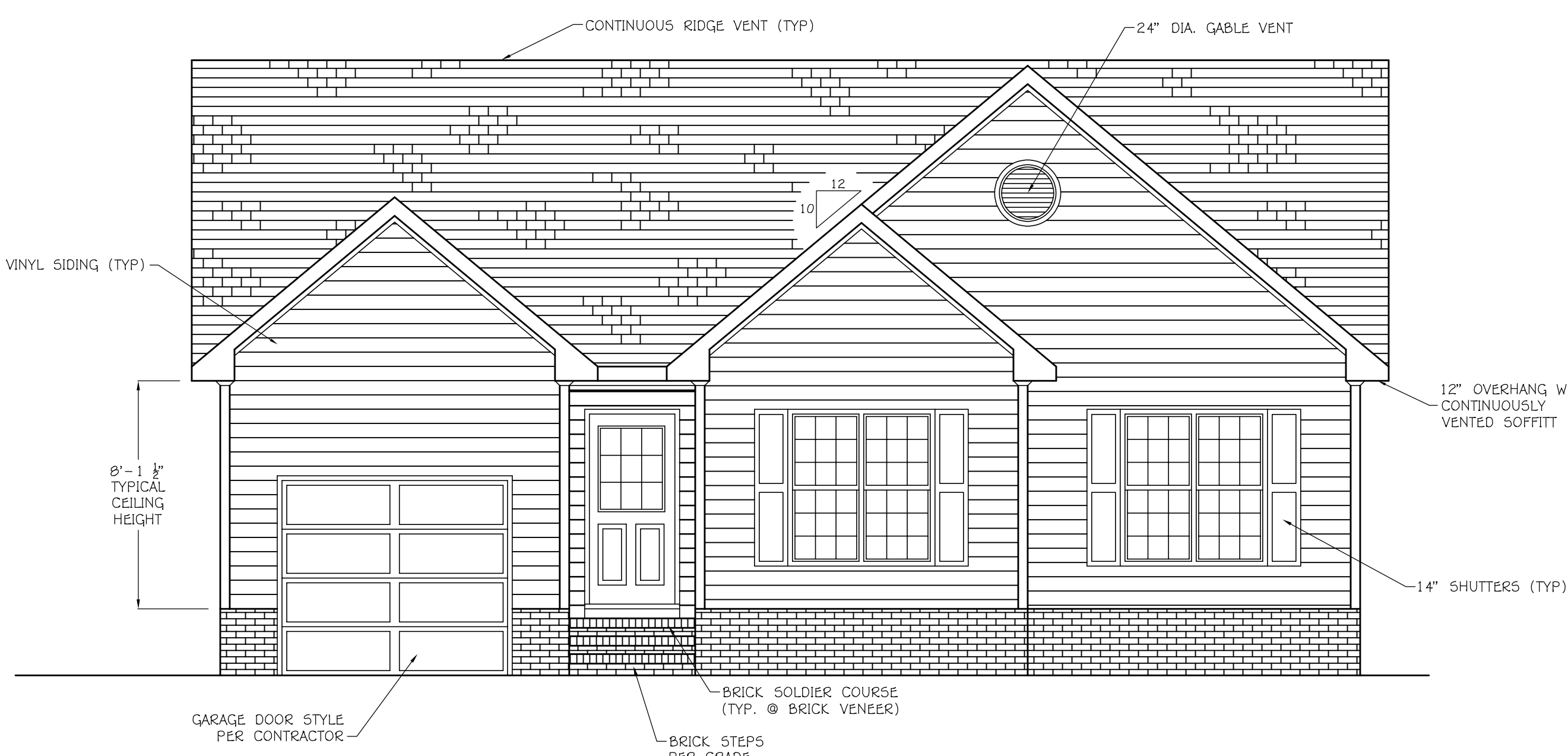
AUBURN

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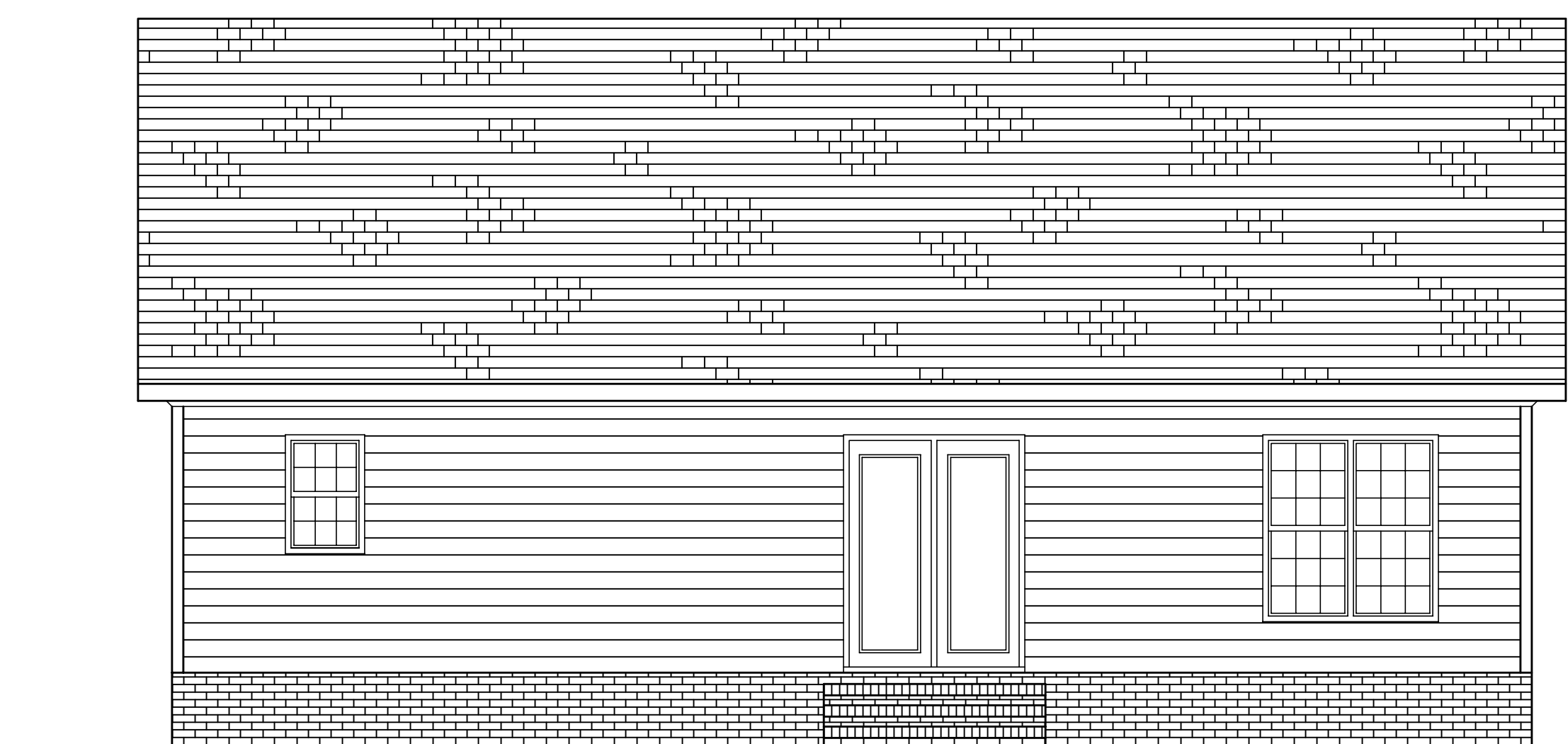
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757-513-0907 1 OF 3

ELEVATIONS

GLABEX 2



**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"

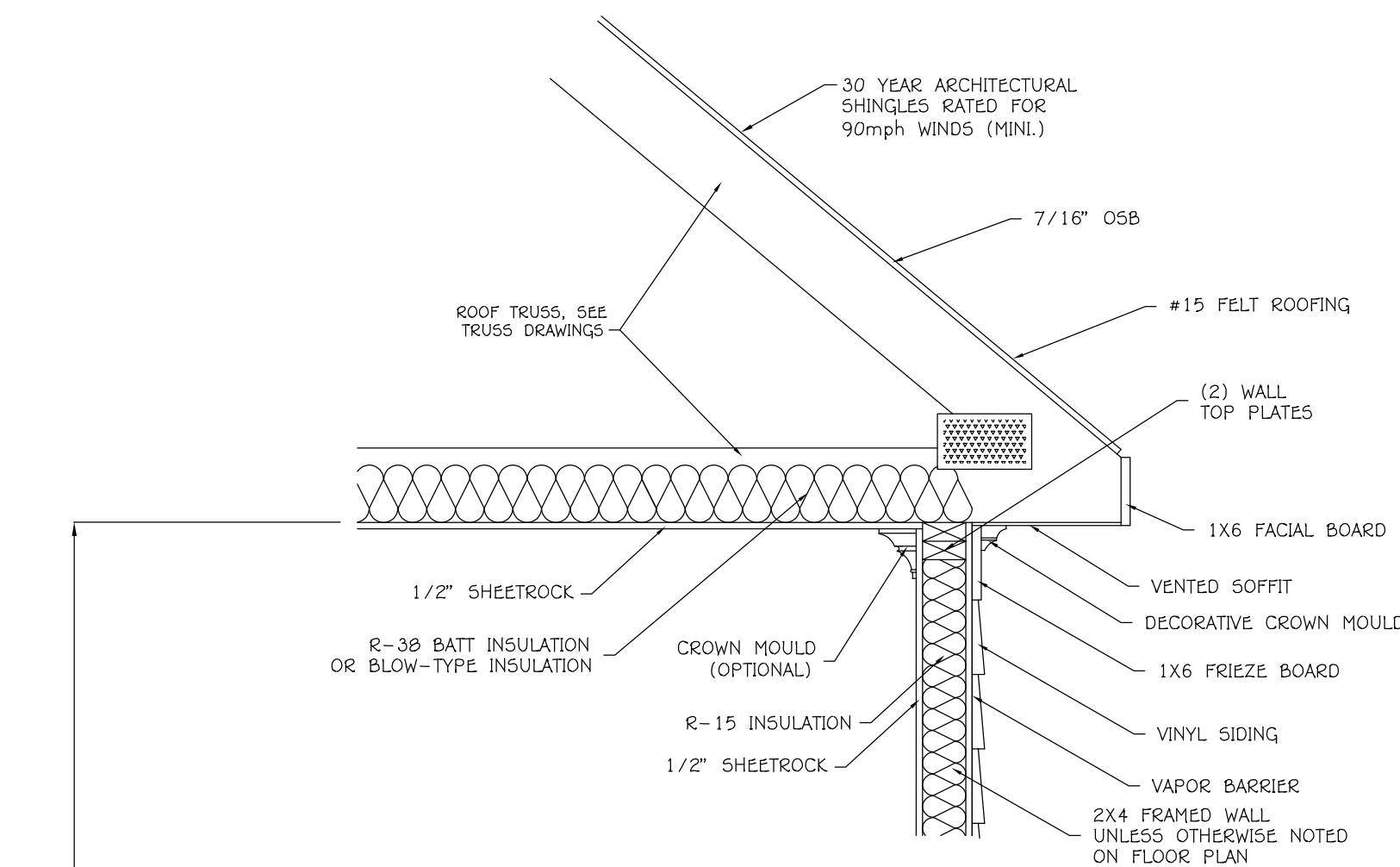


**LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"

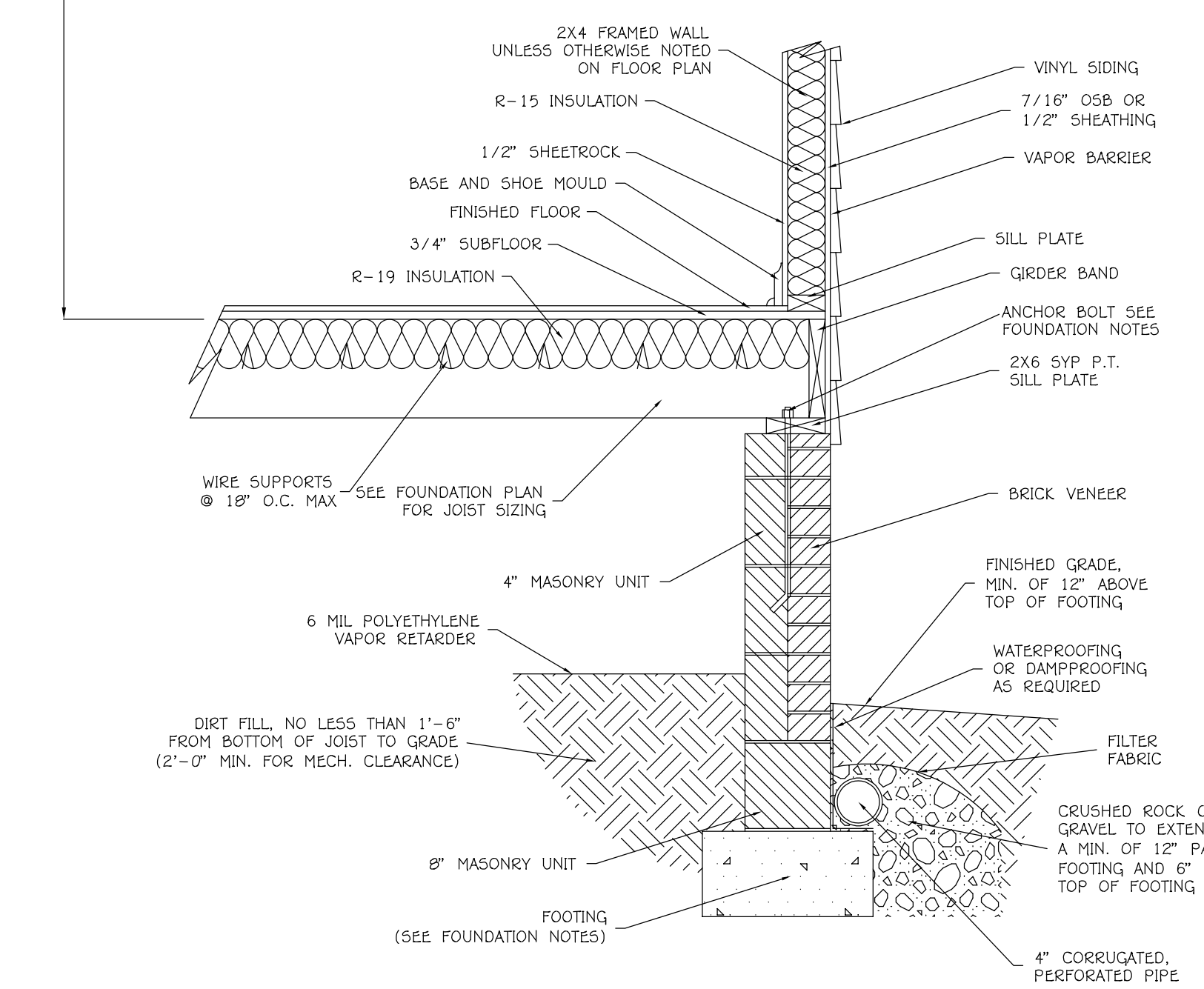


**RIGHT ELEVATION**  
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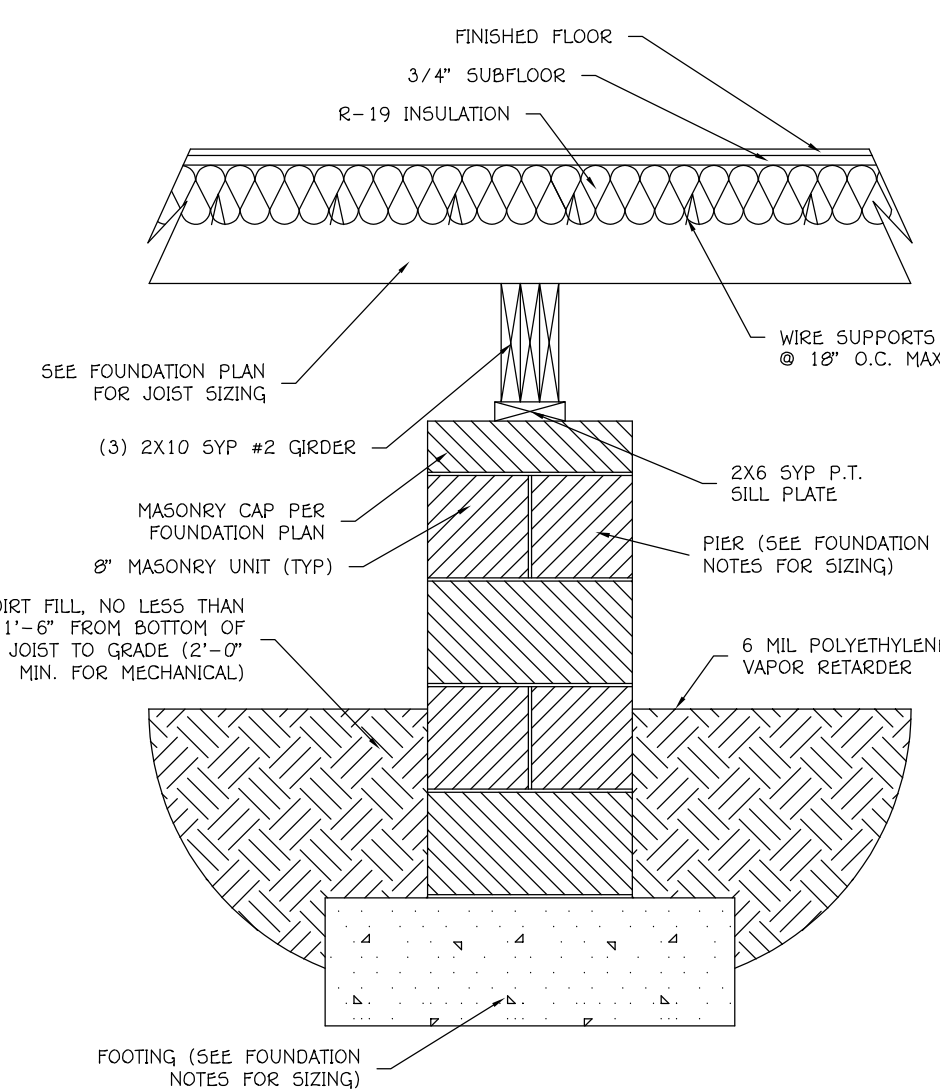
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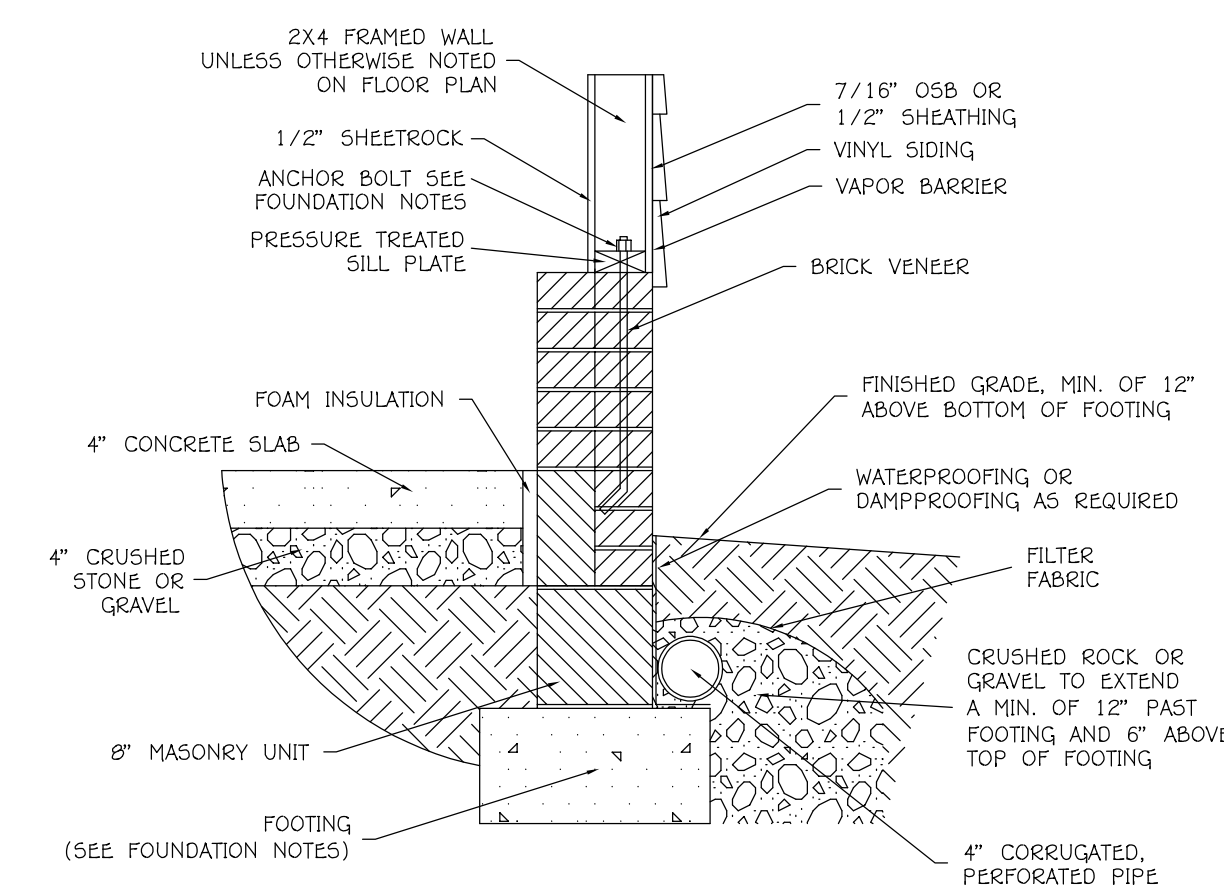
**Typical 12" Overhang Detail**  
NOT TO SCALE



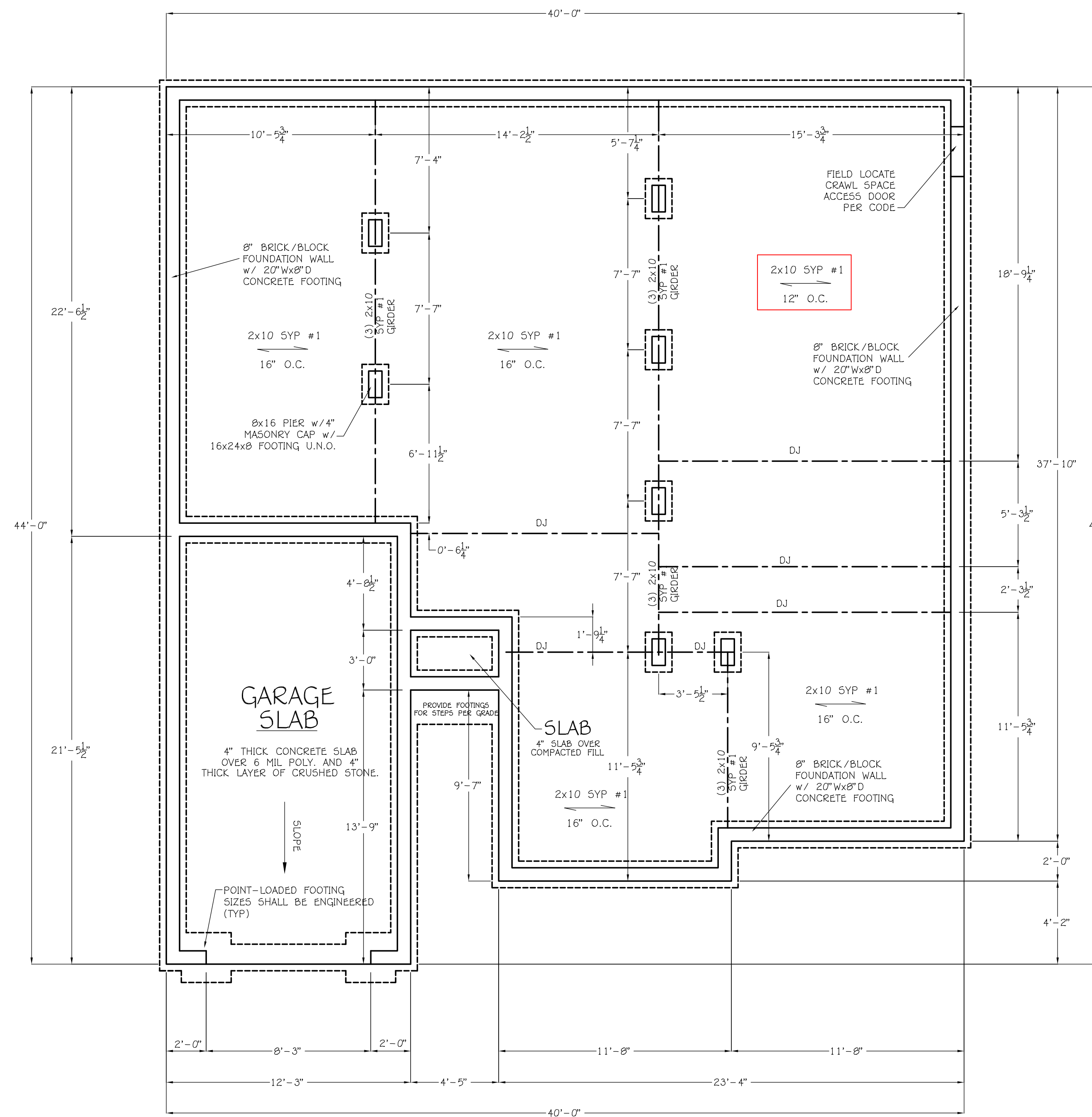
**Typical Wall Detail**  
NOT TO SCALE



**Typical Pier Detail**  
NOT TO SCALE



**Typical Garage Detail**  
NOT TO SCALE



**FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"

- Foundation Notes:
1. Footing widths are based on a load-bearing soil capacity of 2000 psf. For any variations, see Section R403 in the 2018 NC residential code book.
  2. All footings shall bear on original undisturbed soil.
  3. The 28-day compressive strength of all footings is 3,000 PSI
  4. All reinforcing steel to be ASTM A615 grade 60
  5. Use ASTM C90 CMU f'm = 1500 PSI
  6. Use ASTM C216 face brick f'm = 3000 psi; attach to wood frame with minimum #22 galvanized sheet gauge corrosion resistive corrugated metal ties 7/8" wide at vertical intervals max. 16" o.c. and horizontal intervals maximum 24" o.c. Provide weepholes at 33" o.c. max. at first course above flashing U.N.O.
  7. Exterior walls of houses on foundation systems and slab on grade houses shall be anchored to the foundation system or slab with at least 1/2"x10" dia. bolts or approved metal straps placed 6'-0" on center and not more than 12" from corners. Bolts shall extend a minimum of 15" into the masonry or 7" into concrete. Straps shall be embedded per manufacturer's specifications. See section R 403.1.6 in the 2018 NC Residential Code Book.
  8. Field verify all wall thicknesses. Width may vary per grade.
  9. Foundation walls to extend 6" (min.) above finished grade, or 4" (min.) above grade for masonry veneer.
  10. Where provided in slabs on ground, reinforcement shall be supported to remain in place from the center to upper one third of the slab for the duration of the concrete placement.
  11. Provide expansion joint around perimeter of garage slab.
  12. Garage and porch slabs to be 4" lower than main house finished floor where possible.
  13. If pier height is more than (4) times the least face dimension, pier must be filled solid.
  14. Provide 6mil polyethylene vapor retarder to cover ground surface of the crawl space.
  15. Crawl space vent calculation (based on 16x8 vent w/ 55 in<sup>2</sup> opening):  
Area under floor joist = 1201 5F  
Amount of vented area required = 1201/150 = 8.00 5F  
Amount of free air space per vent used is .38 5F  
Amount of vents required are 8.00 5F / .38 5F = 21  
Reduce Qty. by half since 6 mil. poly. is used 21/2 = 10.5 (11)
  16. Provide minimum 36"W x 24"H crawl space access door.
  17. One foundation vent shall be within 3'-0" of each corner of the building. (R408.1.2 in the 2018 NC Residential Code)
  18. Joists under parallel bearing partitions shall be doubled or a beam of adequate size to support the load shall be provided.
  19. Point loads are denoted by circles inscribed in piers.
  20. DJ = DOUBLE JOIST
  21. Block between joist at girder. Support point loads to piers.

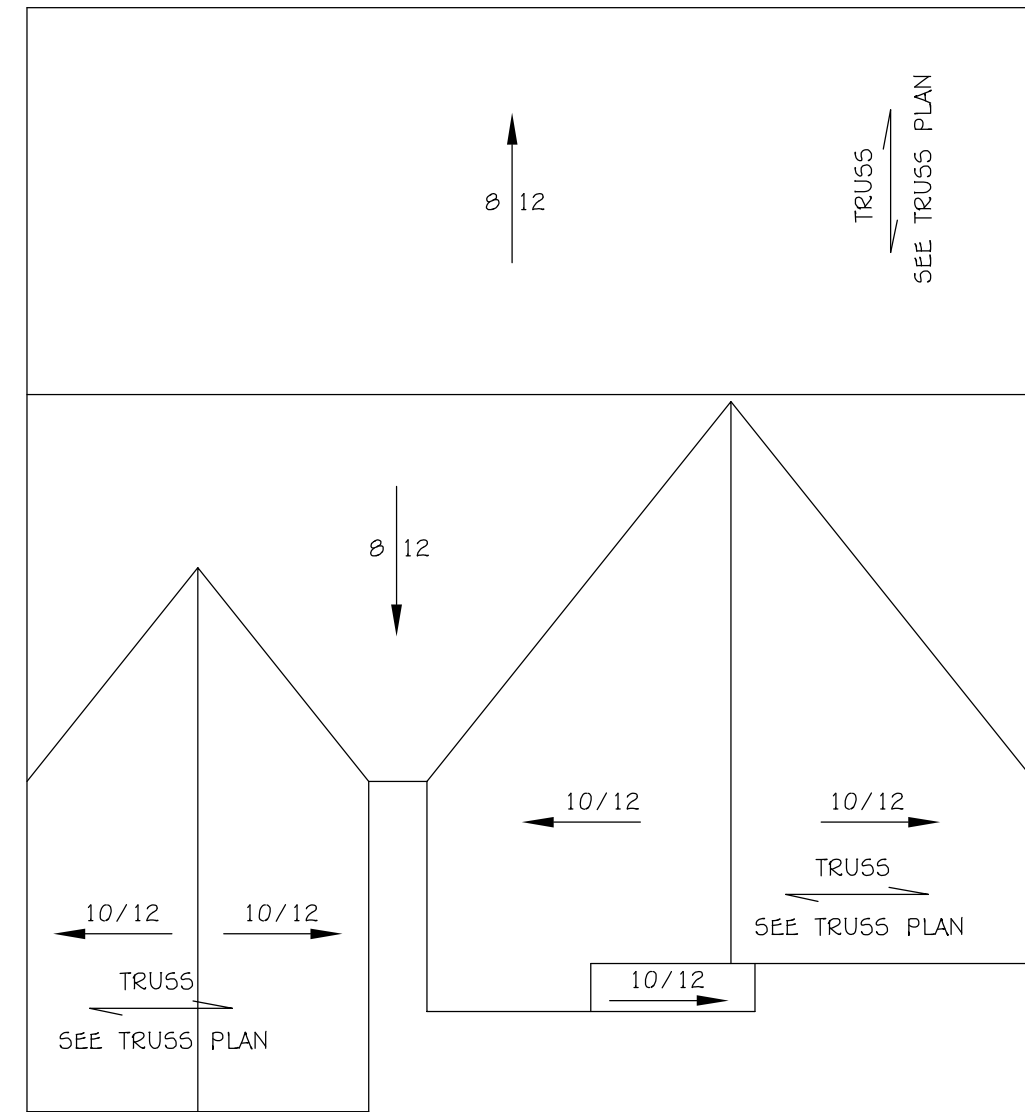
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**NOTE:**  
ALL ELECTRICAL TO COMPLY WITH THE NATIONAL ELECTRIC CODE AND LOCAL BUILDING STANDARDS.

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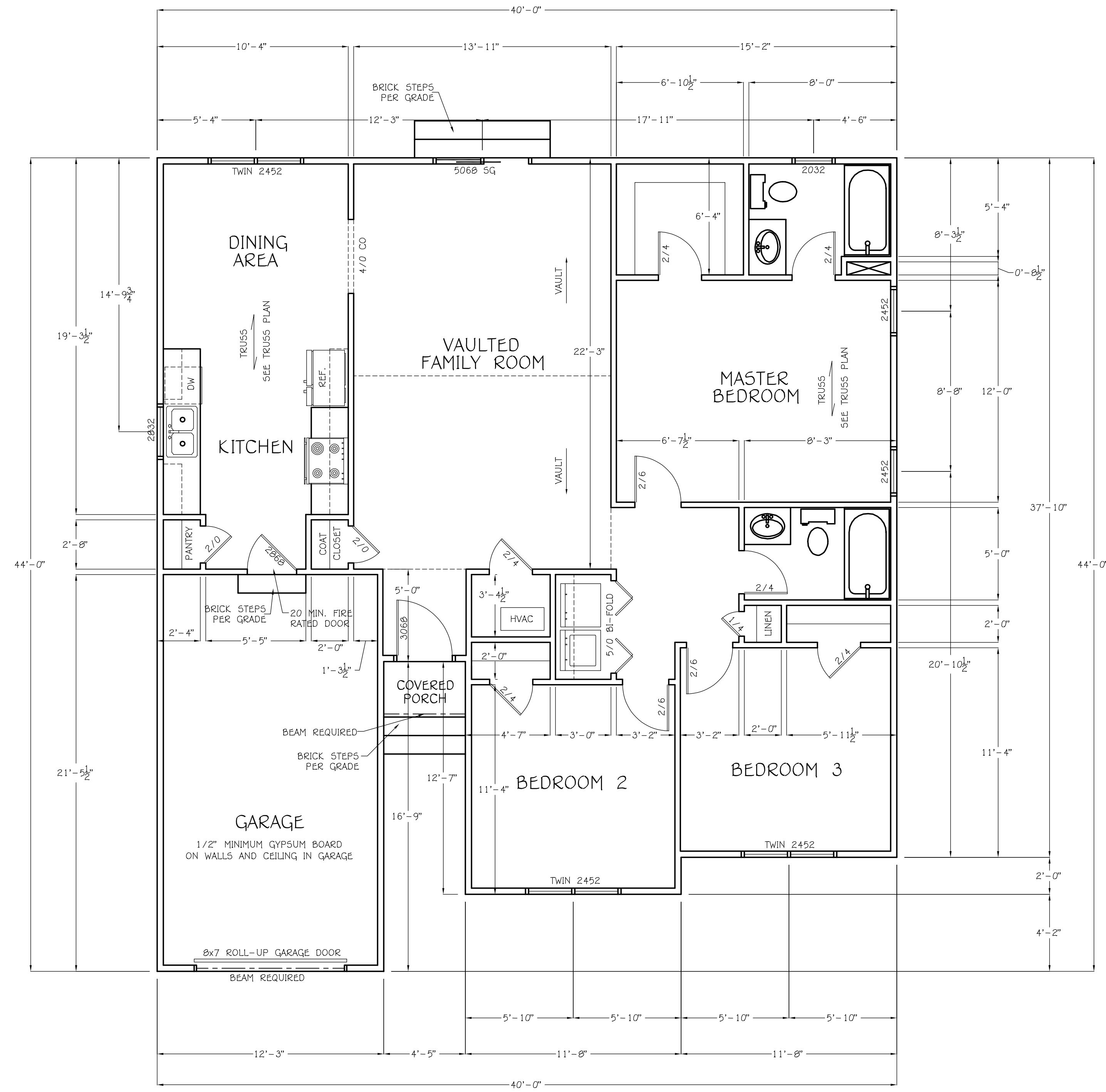
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Drawn For: Qlab Consortium	Sheet No. 2 OF 3
FOUNDATION PLAN/DETAILS	
GLABEX 2	



**ROOF PLAN**  
SCALE: 1/8" = 1'-0"

**Roof Notes:**

- Opposing members at the ridge must align within the thickness of the ridge member. Regularly spaced hip and valley rafters need not align.
- A 1x6 or 2x4 collar beam shall be nailed in the upper third of the roof to every third pair of rafters not to exceed 4 feet on centers.
- Attic Ventilation Calculation:  
Roof Area = 1770 SF  
Ventilation area required =  $1770 / 150 = 11.80$  SF  
 $11.80 \text{ SF} = 1699 \text{ SQ IN}$   
 $1699 / 18 \text{ SQ IN per LF} = 94 \text{ FT}$  of vent required  
Install 40" - Ridge vent  
Install continuous soffit vent  
Install mechanical vents if required
- All ridge and valley beams to be sized by others.
- All rafters to be 2x8 SPF #2 or better, unless otherwise noted.
- Roof sheathing shall be 7/16" OSB with #15 felt U.N.O.
- All joists and rafters shall be aligned over studs below.
- Use (2) 2x members for all roof openings at dormers, chimney framing, etc.
- Provide two layers of underlayment for all pitches below 4/12 as required in Section R905.2 of the 2018 NC residential code book.



APPRAISAL S.F.	
FIRST FLOOR-	1304
GARAGE-	261
FRONT PORCH-	13

**First Floor Notes:**

- Ceiling height to be 8'-1 1/2" unless otherwise noted.
- Vent exhaust fan to outside.
- Exterior wall bracing shall be in accordance with Section R602.10 in the 2018 NC residential code book.
- Manufacturer (or provider) shall size all beams and columns.
- Contractor to verify all exterior stud spacing and sizing. Exterior wall dimensions include sheathing thickness.
- All angled walls shown are at 45 degrees.
- Exterior header heights to be 7'-0" (nominal) unless otherwise noted. Interior door height to be 6'-8" (nominal). Header heights are noted WITHOUT INCLUDING TRANSOMS.
- Interior door sizes are listed in feet/inches, so a 2/8 door would be 2'-8" wide. Exterior door and window sizes are listed in feet and inches, so a 3060 window would be 3'-0" by 6'-0".
- Stair riser/tread info applies to stringers, not final treads.
- Window/door provider to verify tempered glass locations (inner/outer panes), compliance with egress requirements and presence of required opening limitation devices prior to ordering of windows and doors.
- Common emergency/rescue opening requirements:  
-Bottom sill to be no more than 44" above the floor.  
-Minimum net clear open area to be 4.0 s.f.  
-Minimum net clear height to be 22"  
-Minimum net clear width to be 20"  
-Grade or ground floor windows to have minimum total glazing of 5.0 s.f.  
-Upper story windows to have min. total glazing of 5.7 s.f.  
See Section R310 & R311 in the 2018 NC residential code book for additional requirements.
- The 2018 NC Energy Code requires windows to comply with a min. U-value of .35 and a min. SHGC of .30 in lieu of a percentage calculation between glazing and wall area.
- See Section N1102 in the 2018 NC residential code book for air barrier requirements at exterior tubs, showers, stairs & fireplaces.
- See Section R807 in the 2018 NC residential code book for attic access requirements. Field locate as required.

**General Framing Notes:**

- All lumber in contact with concrete or masonry shall be pressure treated.
- Provide drainage plane between stone veneer and all framing w/ weep holes as needed.
- All framing to be 16" o.c. U.N.O.; wall framing dimensions are based on 2x4 studs U.N.O.
- Framing Lumber shall be Southern Yellow Pine #1 grade and/or Spruce, Pine or Fir #2, as Noted, kiln dried (MC=15% or less)
- All Walls 9 ft in height and over use (1) course of blocking
- Studs and joists shall not be cut to install plumbing or wiring without adding metal or wood side pieces to strengthen the member to its original capacity
- Nail multiple members with (2) rows of 16d nails staggered 32" o.c. and use (3) 16d nails 2" in at each end.
- Nail floor joist to sill plate with 8d toe-nails.
- Provide 2-2x8 strongback at mid span for all ceiling joists over 10'-0" span.
- LUMBER SPANS IN CODE BOOK:

**FLOOR JOISTS SPANS:**

TABLES R502.3.1(1) & R502.3.1(2)

**CANTILEVER SPANS:**

TABLES R502.3.3(1) & R502.3.3(2)

**ORDER/HEADER SPANS:**

TABLES R602.7(1), R602.7(2) & R602.7(3)

**CEILING JOIST SPANS:**

TABLES R802.4(1) & R802.4(2)

**RAFTER SPANS:**

TABLES R802.5.1(1), R802.5.1(2), R802.5.1(3), R802.5.1(4), R802.5.1(5), R802.5.1(6), R802.5.1(7) & R802.5.1(8)

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**CHESTNUT**

Date: 8/24/23 Scale: 1/4" = 1'-0"

Drawn For: Glabex Consortium Sheet No. 757-513-8987 A1 OF 3

ELEVATIONS GLABEX 1



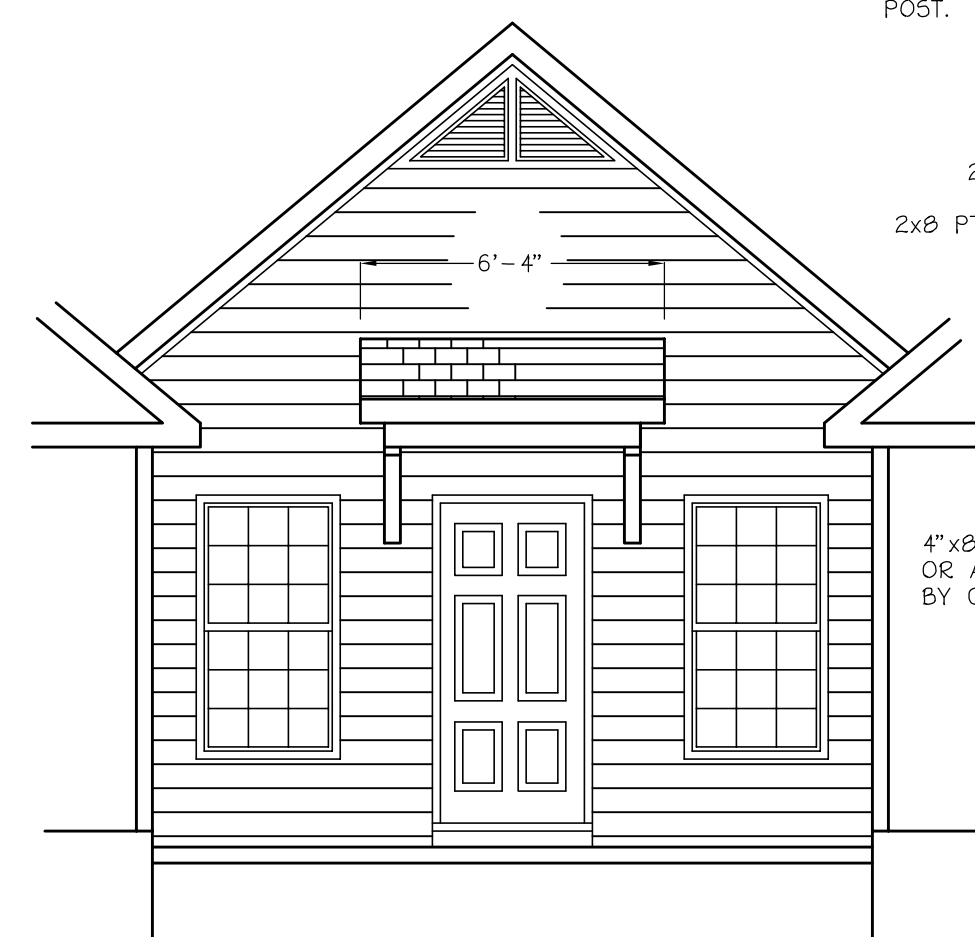
**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



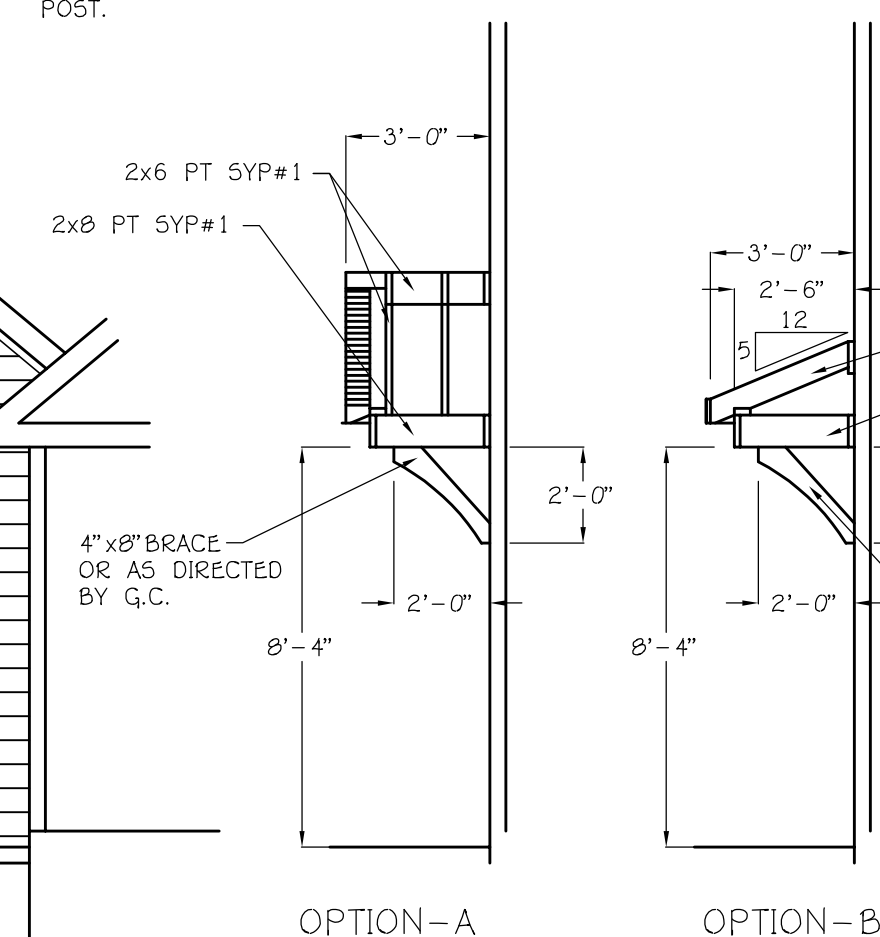
**REAR ELEVATION**

SCALE: 1/4" = 1'-0"



**OPTION - B ENTRY PORCH**

SCALE: 1/4" = 1'-0"



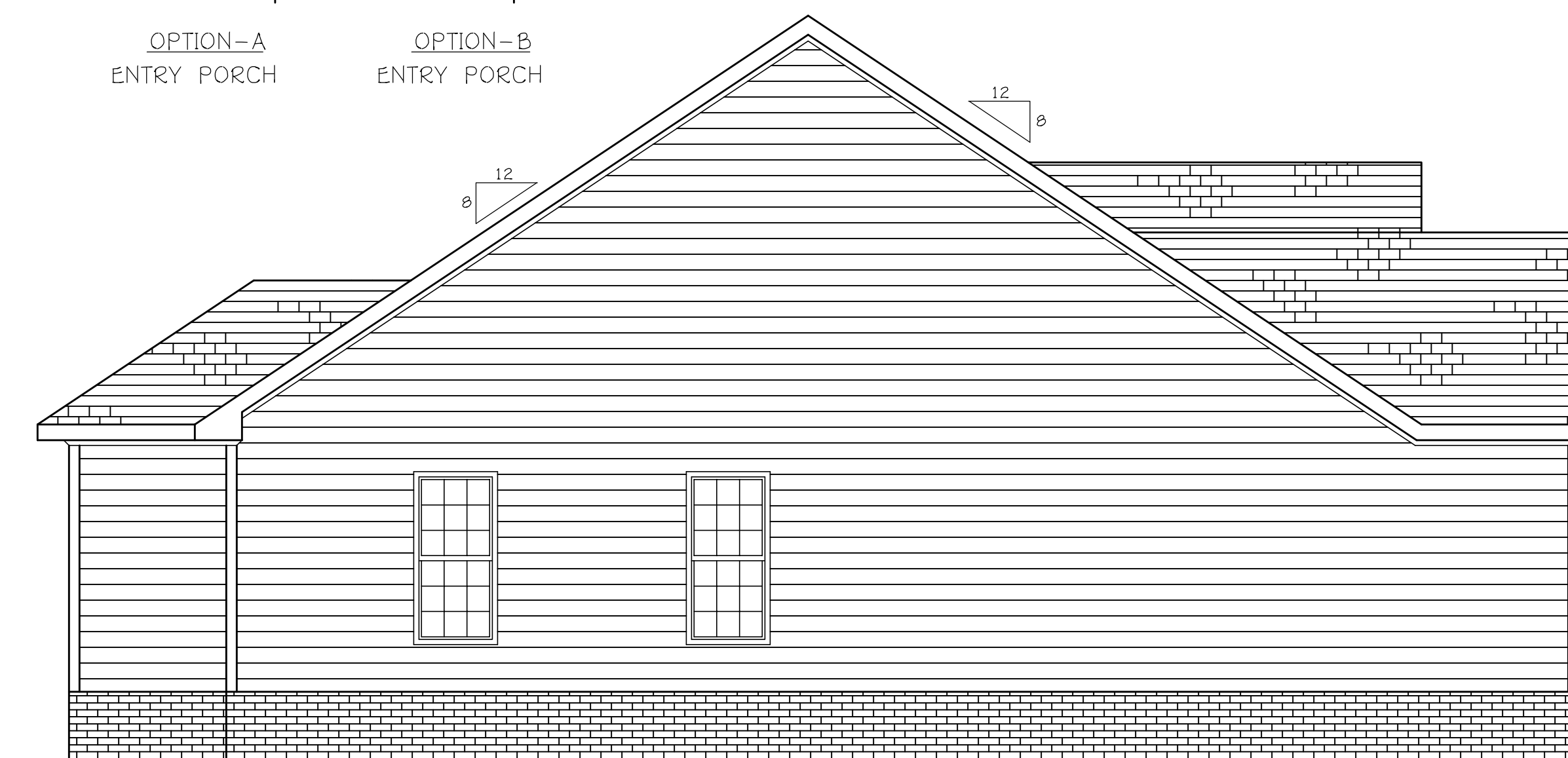
**OPTION - A ENTRY PORCH**

**OPTION - B ENTRY PORCH**



**RIGHT ELEVATION**

SCALE: 1/4" = 1'-0"



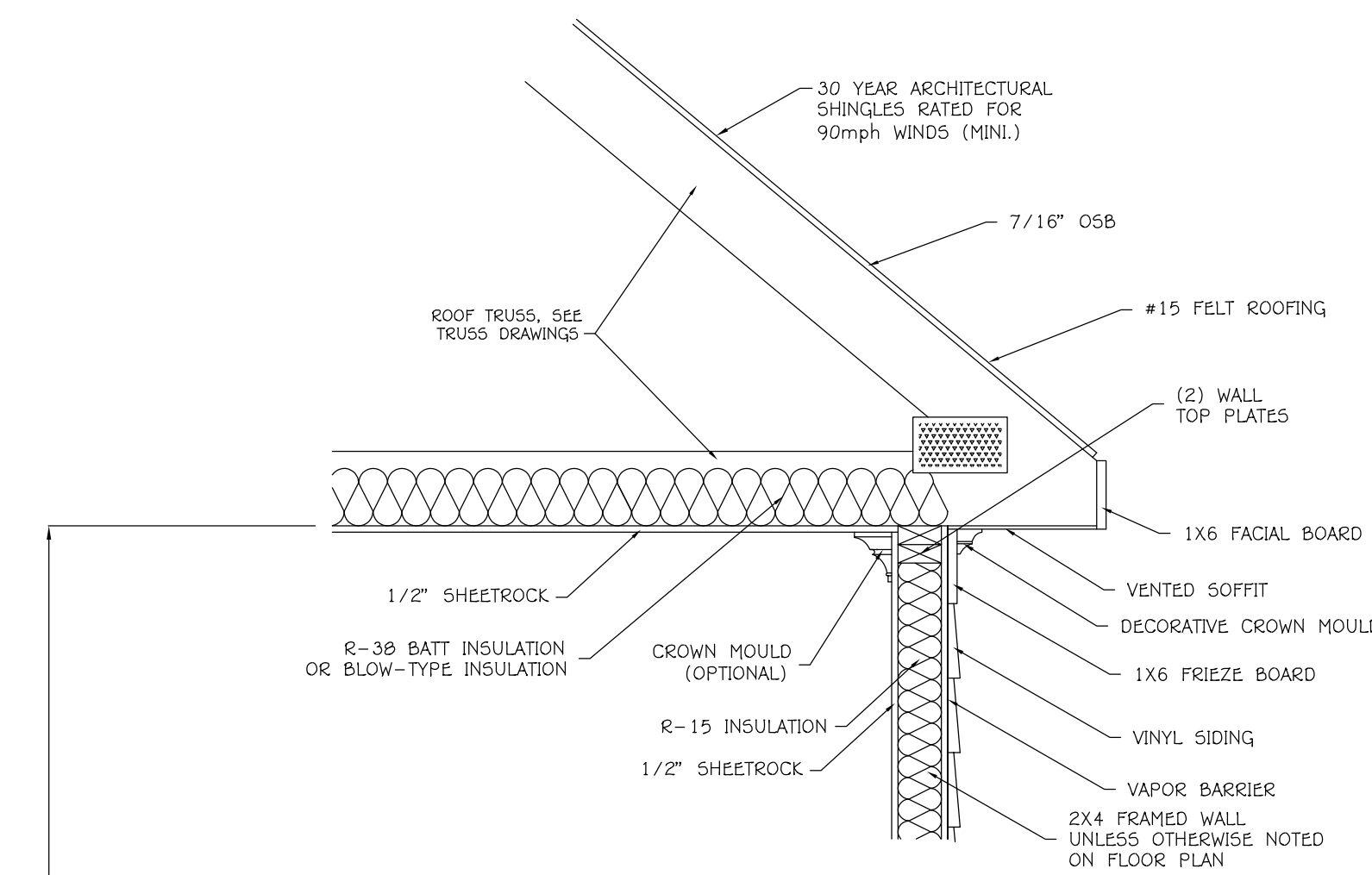
**LEFT ELEVATION**

SCALE: 1/4" = 1'-0"

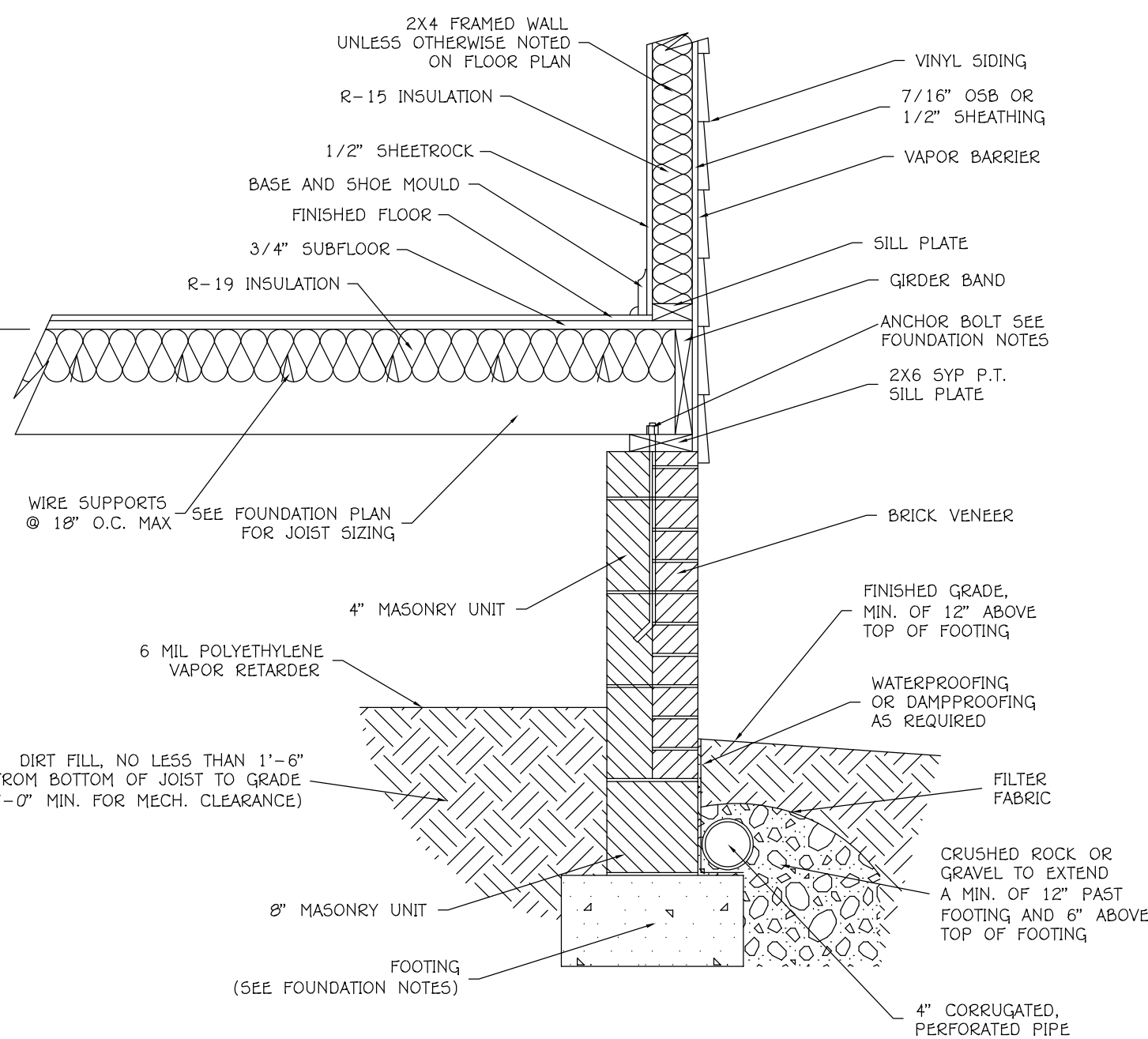
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Foundation Notes:

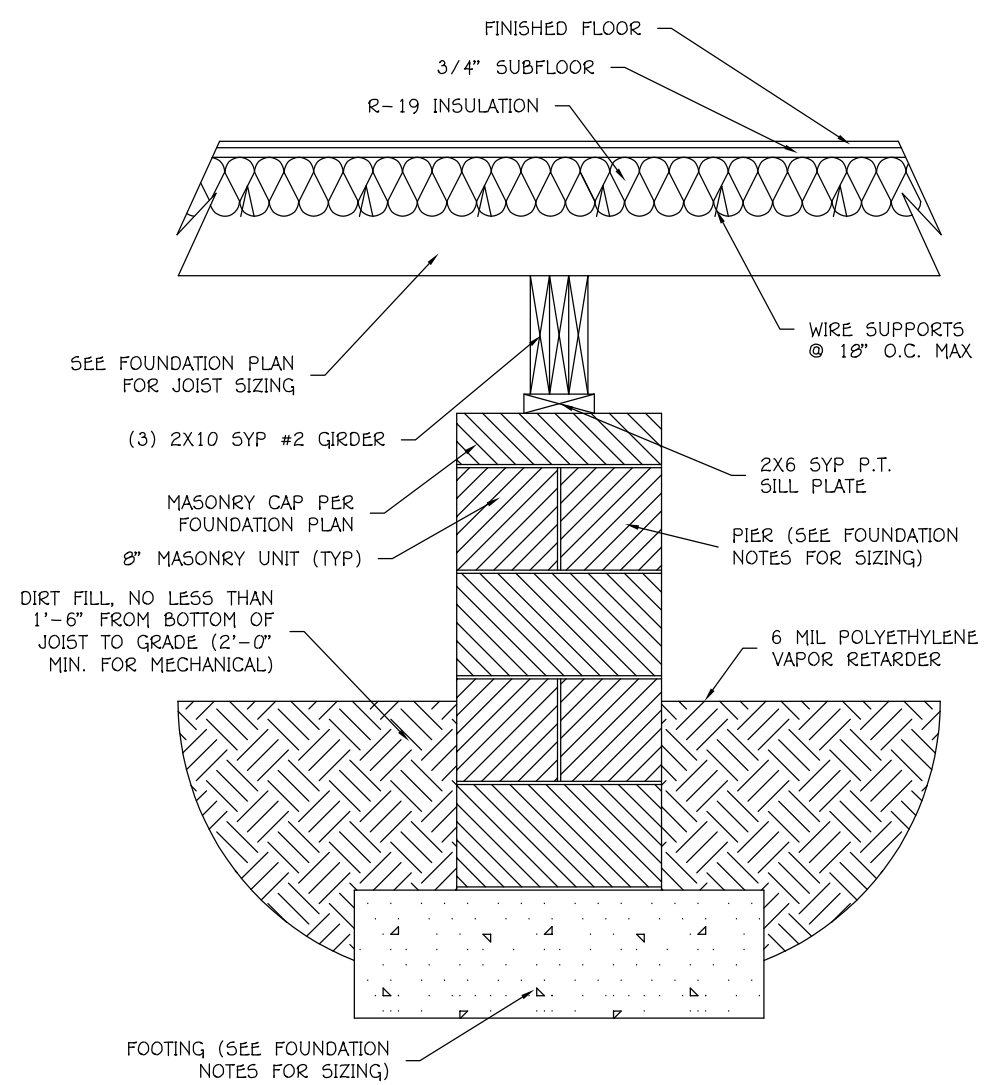
1. Footing widths are based on a load-bearing soil capacity of 2000 psf. For any variations, see Section R403 in the 2018 NC residential code book.
2. All footings shall bear on original undisturbed soil.
3. The 28-day compressive strength of all footings is 3,000 PSI.
4. All reinforcing steel to be ASTM A615 grade 60.
5. Use ASTM C90 CMU f'm = 1500 PSI.
6. Use ASTM C216 face brick f'm = 3000 psi; attach to wood frame with minimum #22 galvanized sheet gauge corrosion resistive corrugated metal ties 7/8" wide at vertical intervals max. 16" o.c. and horizontal intervals maximum 24" o.c. Provide weepholes at 33" o.c. max. at first course above flashing U.N.O.
7. Exterior walls of houses on foundation systems and slab on grade houses shall be anchored to the foundation system or slab with at least 1/2"x10" dia. bolts or approved metal straps placed 6'-0" on center and not more than 12" from corners. Bolts shall extend a minimum of 15" into the masonry or 7" into concrete. Straps shall be embedded per manufacturer's specifications. See section R 403.1.6 in the 2018 NC Residential Code Book.
8. Field verify all wall thicknesses. Width may vary per grade.
9. Foundation walls to extend 6" (min.) above finished grade, or 4" (min.) above grade for masonry veneer.
10. Where provided in slabs on ground, reinforcement shall be supported to remain in place from the center to upper one third of the slab for the duration of the concrete placement.
11. Provide expansion joint around perimeter of garage slab.
12. Garage and porch slabs to be 4" lower than main house finished floor where possible.
13. If pier height is more than (4) times the least face dimension, pier must be filled solid.
14. Provide 6mil polyethylene vapor retarder to cover ground surface of the crawl space.
15. Crawl space vent calculation (based on 16x8 vent w/ 55 in<sup>2</sup> opening):  
Area under floor joist = 1200 SF  
Amount of vented area required = 1200/150 = 8.05 SF  
Amount of free air space per vent used is .30 SF  
Amount of vents required are 8.05 SF / .30 SF = 27  
Reduce Qty. by half since 6 mil. poly. is used 27/2 = 14
16. Provide minimum 36"W x 24"H crawl space access door.
17. One foundation vent shall be within 3'-0" of each corner of the building. (R408.1.2 in the 2018 NC Residential Code)
18. Joists under parallel bearing partitions shall be doubled or a beam of adequate size to support the load shall be provided.
19. Point loads are denoted by circles inscribed in piers.
20. DJ = DOUBLE JOIST
21. Block between joist at girder. Support point loads to piers.



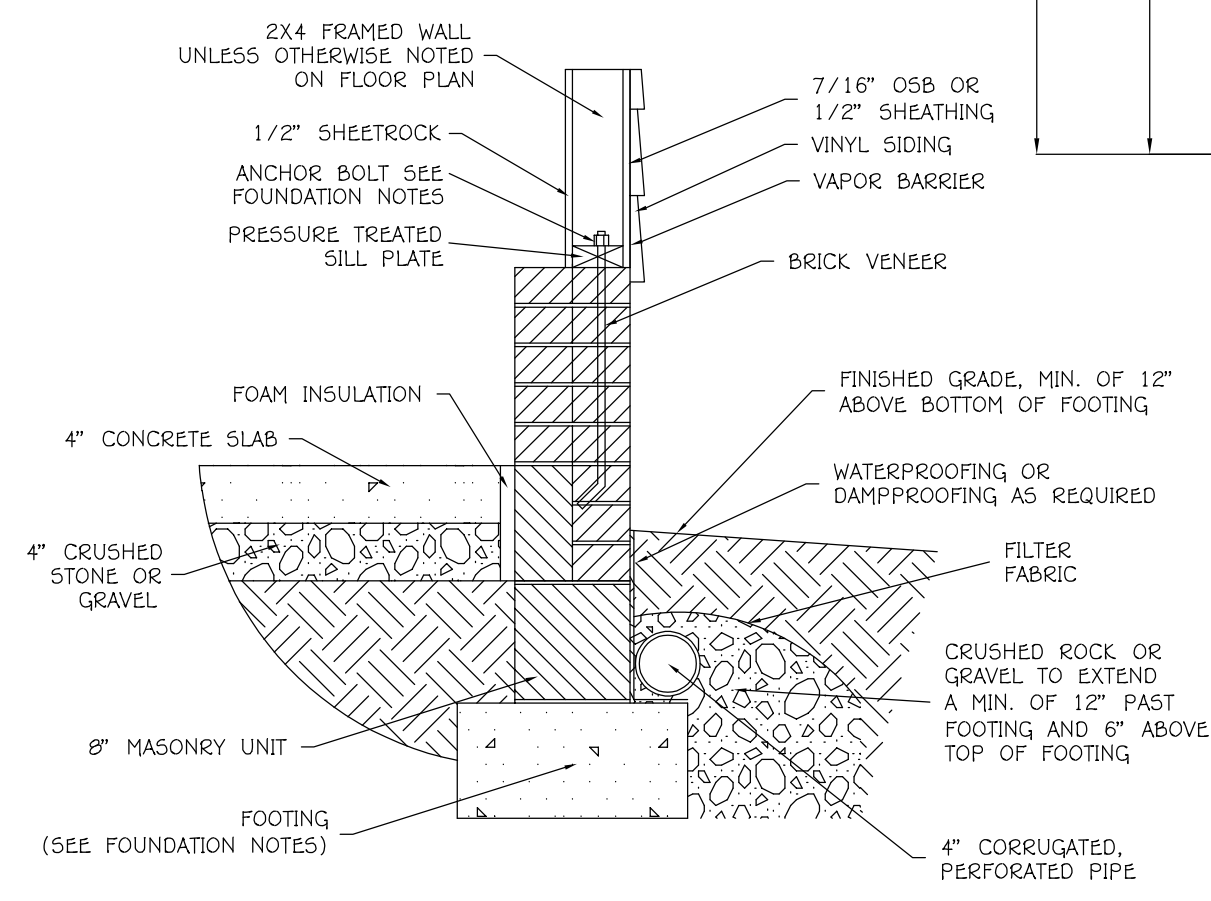
Typical 12" Overhang Detail  
NOT TO SCALE



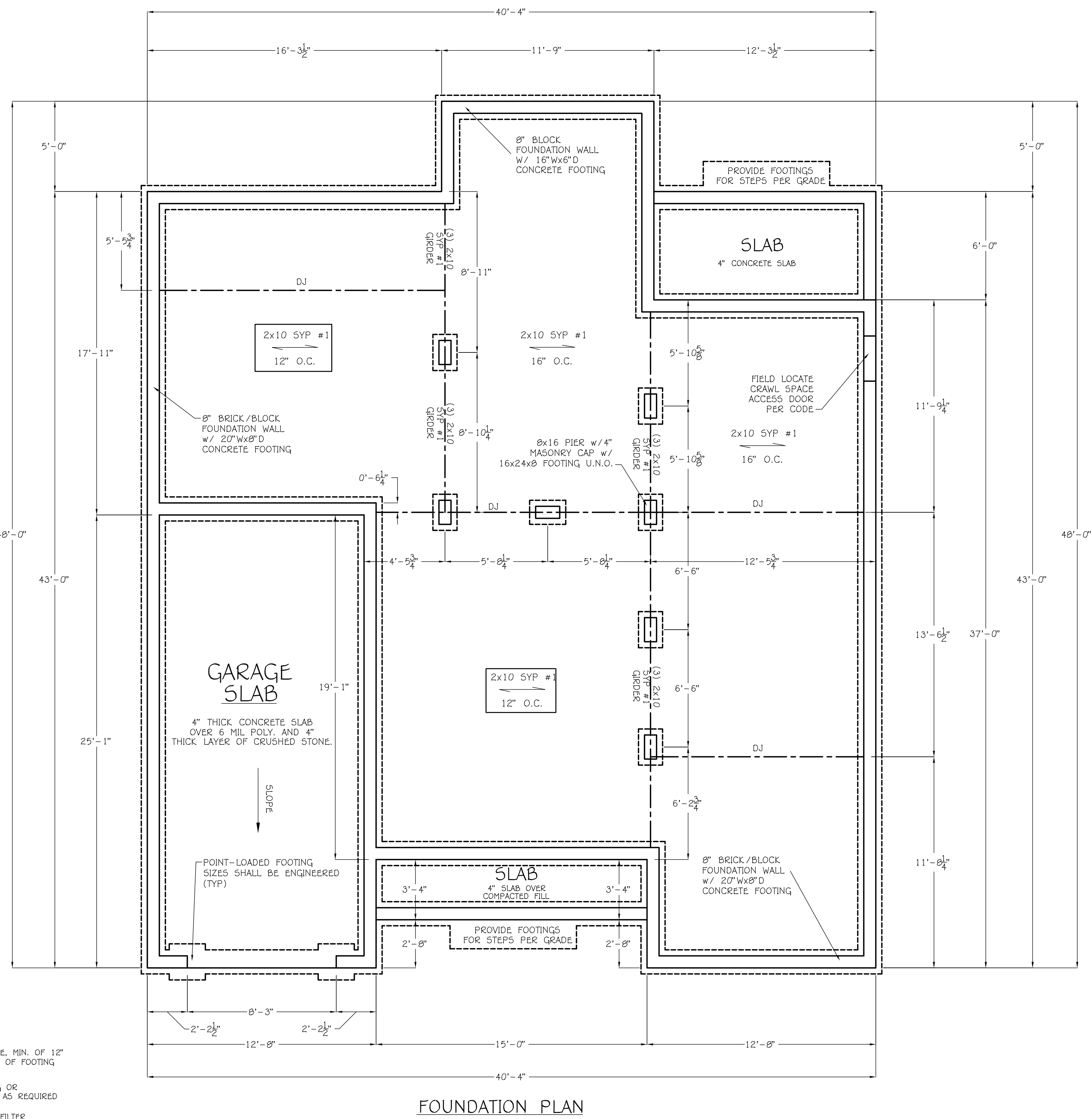
Typical Wall Detail  
NOT TO SCALE



Typical Pier Detail  
NOT TO SCALE



Typical Garage Detail  
NOT TO SCALE



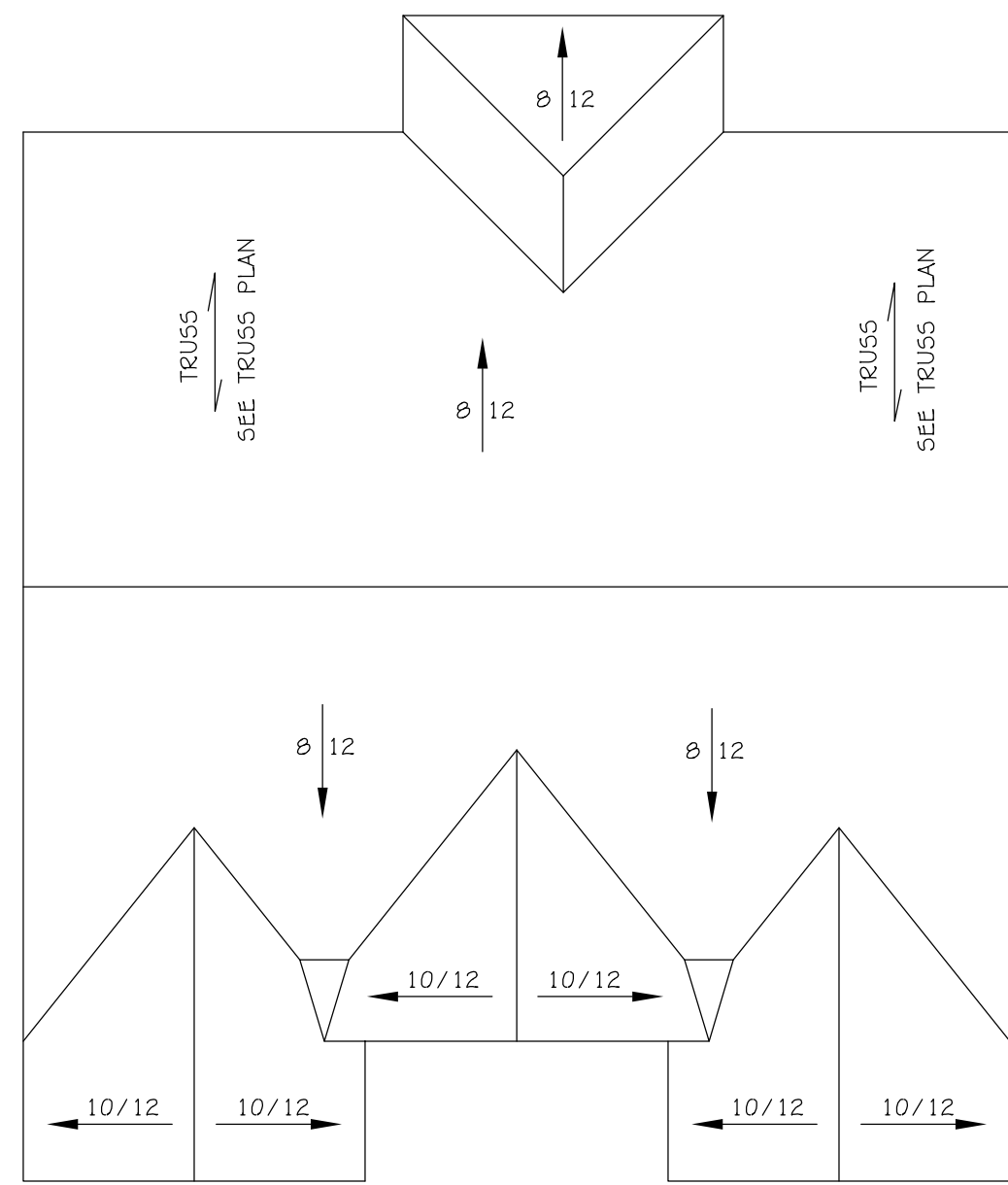
FOUNDATION PLAN

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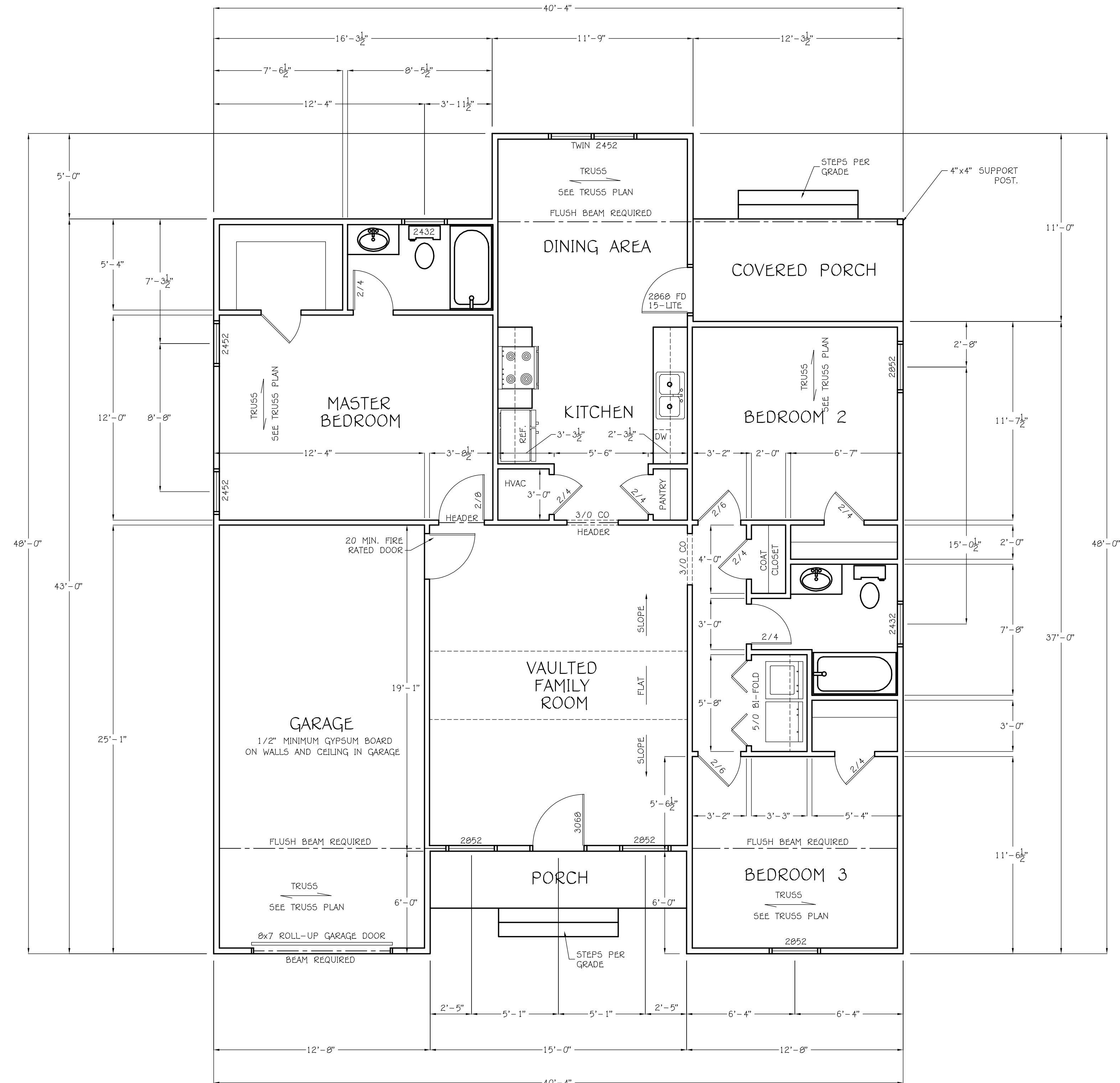
<b>CHESTNUT</b>	
Date: 8/24/23	Scale: 1/4" = 1'-0"
Drawn For: Glabex Consortium 757-513-8987	Sheet No. A2 OF 3
FOUNDATION PLAN/DETAILS	
GLABEX 1	



**ROOF PLAN**  
SCALE: 1/8" = 1'-0"

**Roof Notes:**

- Opposing members at the ridge must align within the thickness of the ridge member. Regularly spaced hip and valley rafters need not align.
- A 1x6 or 2x4 collar beam shall be nailed in the upper third of the roof to every third pair of rafters not to exceed 4 feet on centers.
- Attic Ventilation Calculation:  
Roof Area = 1896 SF  
Ventilation area required = 1896/150 = 12.64 SF  
12.64 SF = 1820 SQ IN  
1820/18 SQ IN per LF = 101 FT of vent required  
Install 90° - Ridge vent  
Install continuous soffit vent  
Install mechanical vents if required
- All ridge and valley beams to be sized by others.
- All rafters to be 2x8 SPF #1 o.c. or better, unless otherwise noted.
- Roof sheathing shall be 7/16" OSB with #15 felt U.N.O.
- All joists and rafters shall be aligned over studs below.
- Use (2) 2x members for all roof openings at dormers, chimney framing, etc.
- Provide two layers of underlayment for all pitches below 4/12 as required in Section R905.2 of the 2018 NC residential code book.



- First Floor Notes:
- Ceiling height to be 8'-1 1/2" unless otherwise noted.
  - Vent exhaust fan to outside.
  - Exterior wall bracing shall be in accordance with Section R602.10 in the 2018 NC residential code book.
  - Manufacturer (or provider) shall size all beams and columns.
  - Contractor to verify all exterior stud spacing and sizing. Exterior wall dimensions include sheathing thickness.
  - All angled walls shown are at 45 degrees.
  - Exterior header heights to be 7'-0" (nominal) unless otherwise noted. Interior door height to be 6'-8" (nominal). Header heights are noted WITHOUT INCLUDING TRANSOMS.
  - Interior door sizes are listed in feet/inches, so a 2/8 door would be 2'-8" wide. Exterior door and window sizes are also listed in feet and inches, so a 3060 window would be 3'-0" by 6'-0".
  - Stair riser/tread info applies to stringers, not final treads.
  - Window/door provider to verify tempered glass locations (inner/outer panes), compliance with egress requirements and presence of required opening limitation devices prior to ordering of windows and doors.
  - Common emergency/rescue opening requirements:  
-Bottom sill to be no more than 44" above the floor.  
-Minimum net clear open area to be 4.0 s.f.  
-Minimum net clear height to be 20"  
-Minimum net clear width to be 20"  
-Grade or ground floor windows to have minimum total glazing of 5.0 s.f.  
-Upper story windows to have min. total glazing of 5.7 s.f.  
See Section R310 & R311 in the 2018 NC residential code book for additional requirements.
  - The 2018 NC Energy Code requires windows to comply with a min. U-value of .35 and a min. SHGC of .30 in lieu of a percentage calculation between glazing and wall area.
  - See Section N1102 in the 2018 NC residential code book for air barrier requirements at exterior tubs, showers, stairs & fireplaces.
  - See Section R807 in the 2018 NC residential code book for attic access requirements. Field locate as required.

- General Framing Notes:
- All lumber in contact with concrete or masonry shall be pressure treated
  - Provide drainage plane between stone veneer and all framing w/ weep holes as needed.
  - All framing to be 16" o.c. U.N.O.; wall framing dimensions are based on 2x4 studs U.N.O.
  - Framing Lumber shall be Southern Yellow Pine #1 grade and/or Spruce, Pine or Fir #2, as Noted, kiln dried (MC=15% or less)
  - All walls 9 ft in height and over use (1) course of blocking
  - Studs and joists shall not be cut to install plumbing or wiring without adding metal or wood side pieces to strengthen the member to its original capacity
  - Nail multiple members with (2) rows of 16d nails staggered 32" o.c. and use (3) 16d nails 2" in at each end.
  - Nail floor joist to sill plate with 8d toe-nails.
  - Provide 2-2x8 strongback at mid span for all ceiling joists over 10'-0" span.
  - LUMBER SPANS IN CODE BOOK:

**FLOOR JOIST SPANS:**  
TABLES R502.3.1(1) & R502.3.1(2)

**CANTILEVER SPANS:**  
TABLES R502.3.3(1) & R502.3.3(2)

**GIRDER/HEADER SPANS:**  
TABLES R602.7(1), R602.7(2) & R602.7(3)

**CEILING JOIST SPANS:**  
TABLES R802.4(1) & R802.4(2)

**RAFTER SPANS:**  
TABLES R802.5.1(1), R802.5.1(2), R802.5.1(3), R802.5.1(4), R802.5.1(5), R802.5.1(6), R802.5.1(7) & R802.5.1(8)

APPRAISAL S.F.	
FIRST FLOOR-	1318
GARAGE-	311
FRONT PORCH-	50
REAR PORCH-	74

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Date:	8/24/23	Scale:	1/4" = 1'-0"
Drawn For:	Glaxex Consortium 757-513-8987	Sheet No.	A3 OF 3
FLOOR/ROOF PLANS		GLABEX 1	



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*Designed For:*  
**GLABEX CONSORTIUM**  
**GLABEX 3**

**PLAN INDEX**

- |           |                           |
|-----------|---------------------------|
| COVER     | COVER                     |
| PAGE A1 - | ELEVATIONS                |
| PAGE A2 - | FOUNDATION PLANS          |
| PAGE A3 - | FLOOR/ROOF PLAN & DETAILS |
| PAGE C1 - | COMPOSITE PLAN            |

**ELEVATION NOTES**

**WATER AND MOISTURE PROTECTION**

1. PROVIDE FOUNDATION WATERPROOFING WHERE EXTERIOR GRADE IS ABOVE CRAWL SPACE OR BASEMENT SLAB. ALSO, INSTALL 4" PERFORATED PLASTIC FOUNDATION DRAINS, SLOPED TO ON-SITE DRY WELL OR NATURAL DRAINAGE COURSES.
2. ALL BUILDING EXTERIOR SURFACE PENETRATIONS WITH POTENTIAL EXPOSURE TO WEATHER SHALL BE FLASHED AND/OR CAULKED PER CODE AND/OR INDUSTRY-RECOGNIZED PROPER CONSTRUCTION TECHNIQUES. ALL ROOF SHINGLE FLASHING AGAINST A VERTICAL SURFACE SHALL BE STEP FLASHING.
3. ALL FLASHING SHALL BE TURNED OUT AT A LOWER EDGE TO DIRECT WATER OUT OF THE STRUCTURE, AND SHALL BE COPPER, ALUMINUM OR PVC, UNLESS NOTED OTHERWISE.
4. WHERE LAP SIDING OTHER THAN VINYL IS USED, PROVIDE A SEALED WATERPROOF BARRIER BEHIND ANY VERTICAL OR SILL TRIM WITH A BARRIER TURNED OUT AT THE FIRST SIDING COURSE BELOW TRIM.
5. WHERE LAP SIDING OTHER THAN VINYL IS USED, WRAP ALL CORNERS WITH 6 MIL. POLY EXTENDING 12" HORIZONTALLY BEYOND VERTICAL JOINTS AND TURNED OUT OVER FLASHING AT BOTTOM OF JOINT.

**WINDOWS AND DOORS**

1. THE WINDOW SIZES SHOWN ARE NOMINAL FRAME SIZES UNLESS NOTED OTHERWISE, AND MAY VARY SLIGHTLY PER MANUFACTURER.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SELECTING WINDOWS/DOORS THAT MEET RELEVANT EGRESS, TEMPERING AND OPENING LIMITATION REQUIREMENTS.
3. ALL FRENCH DOORS, SLIDING GLASS DOORS, AND SHOWER ENCLOSURE/DOORS SHALL BE TEMPERED GLASS UNITS. ALL GLASS IN ANY OTHER DOOR SHALL BE TEMPERED, UNLESS OTHERWISE PERMITTED PER CODE.
4. HEADER HEIGHTS ARE APPROXIMATE AND MAY VARY ACCORDING TO MANUFACTURERS. THE CONTRACTOR SHALL SET WINDOWS, DOORS AND CASD OPENINGS AT THE SAME NOMINAL HEIGHT FOR PURPOSES OF TRIM ALIGNMENT, UNLESS NOTED OTHERWISE.
5. TRANSOM HEIGHTS ARE NOMINAL AND SHALL BE SIZED TO MULL DIRECTLY TO THE WINDOW BELOW, AND SHALL YIELD A NOMINAL OVERALL HEIGHT TO MATCH ANY 8'-0" DOORS OR OPENINGS, U.N.O.
6. WINDOW GRILLS ARE SHOWN TO SCHEMATICALLY EXPRESS DESIGN INTENT. ACTUAL GRILLS MAY VARY PER MANUFACTURER, OR CUSTOM GRILLS MAY BE REQUIRED. ANY VARIATION TO THE GRILLS AS SHOWN MUST BE APPROVED BY THE BUILDER.

**GARAGE SEPARATION**

1. WALLS BETWEEN THE GARAGE AND LIVING SPACE OF THE HOME SHALL BE SHEETED WITH A MIN. OF 1/2" GYPSUM BOARD. CEILINGS BETWEEN THE GARAGE AND ATTIC AND ANY WALL SUPPORTING SUCH CEILINGS SHALL BE SHEETED WITH A MIN. OF 1/2" GYPSUM BOARD. CEILINGS BETWEEN GARAGE AND LIVING SPACE SHALL BE SHEETED WITH A MIN. OF 5/8" TYPE-X GYPSUM BOARD.
2. ANY DOOR LEADING FROM THE LIVING SPACE OF THE HOME TO A GARAGE SHALL BE 1-3/8" SOLID WOOD, OR 20-MINUTE FIRE-RATED.

**CARBON MONOXIDE DETECTORS**

1. CARBON MONOXIDE DETECTORS ARE NOW REQUIRED. SEE SECTION R315 IN THE 2018 NC RESIDENTIAL CODE BOOK.

**TERMITE PROTECTION**

1. ALL HOUSE FOUNDATIONS & SLABS SHALL BE PRETREATED FOR TERMITES BY A LICENSED EXTERMINATOR.

**GUTTERING**

1. GUTTERS AND DOWN SPOUTS ARE NOT SHOWN FOR CLARITY. THE CONTRACTOR IS TO VERIFY THE LOCATION OF DOWN SPOUTS.

**SITE GRADING**

1. GRADE ELEVATIONS ARE FOR DIAGRAMMATIC PURPOSES ONLY, AND MAY VARY. THE BUILDER IS RESPONSIBLE FOR ADAPTING THIS PLAN TO SUIT THE EXISTING TOPOGRAPHY OF THE SITE.

**DESIGN INTENT**

1. THE DESIGNER STRIVES FOR ACCURACY, HOWEVER, MANY ITEMS SHOWN ON THESE PLANS ARE EXPRESSED IN GENERIC TERMS AND ARE LEFT TO THE DISCRETION OF THE OWNER OR CONTRACTOR, OR ARE SHOWN SPECIFICALLY AS REQUESTED BY THE OWNER OR CONTRACTOR. THE DESIGNER ASSUMES NO RESPONSIBILITY FOR THE PERFORMANCE OF ANY MATERIAL OR PRODUCT SHOWN, OR FOR ANY TECHNIQUES NOT SPECIFICALLY SHOWN ON THE PLANS.

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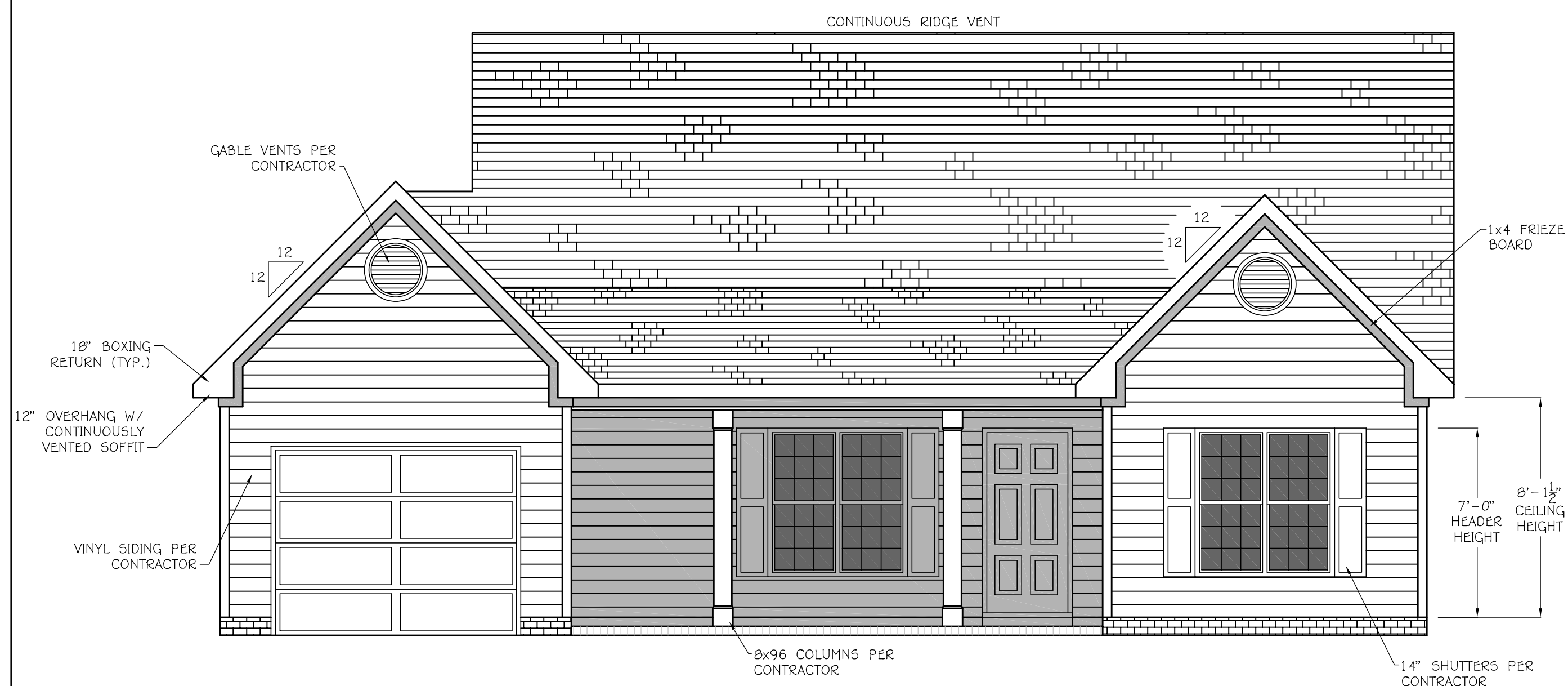
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**GLABEX 3**

Date:	8/13/23	Scale:	1/4" = 1'-0"
Drawn For:	Glax Consortium 757-513-8987	Sheet No.	A1 OF 3
ELEVATIONS			GLABEX 3



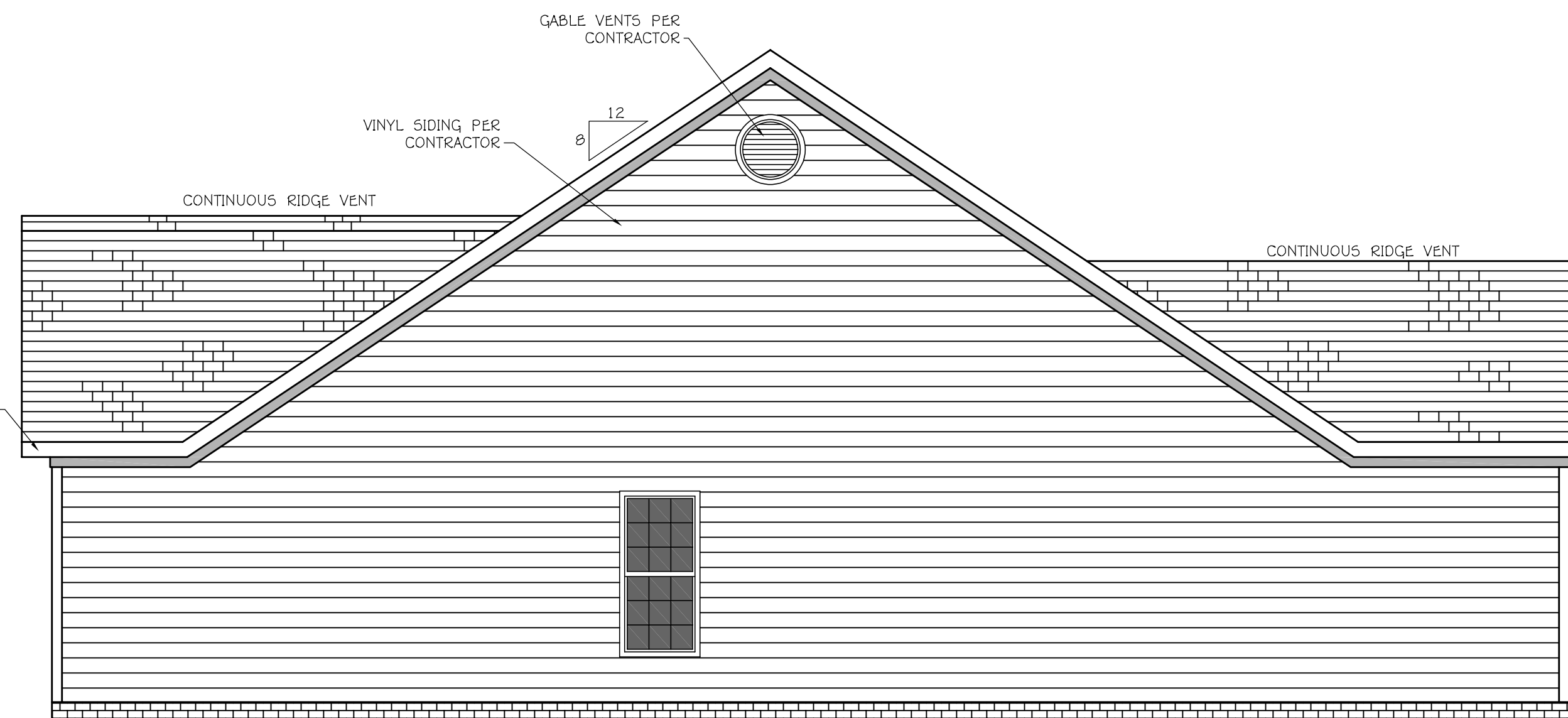
**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



**LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"



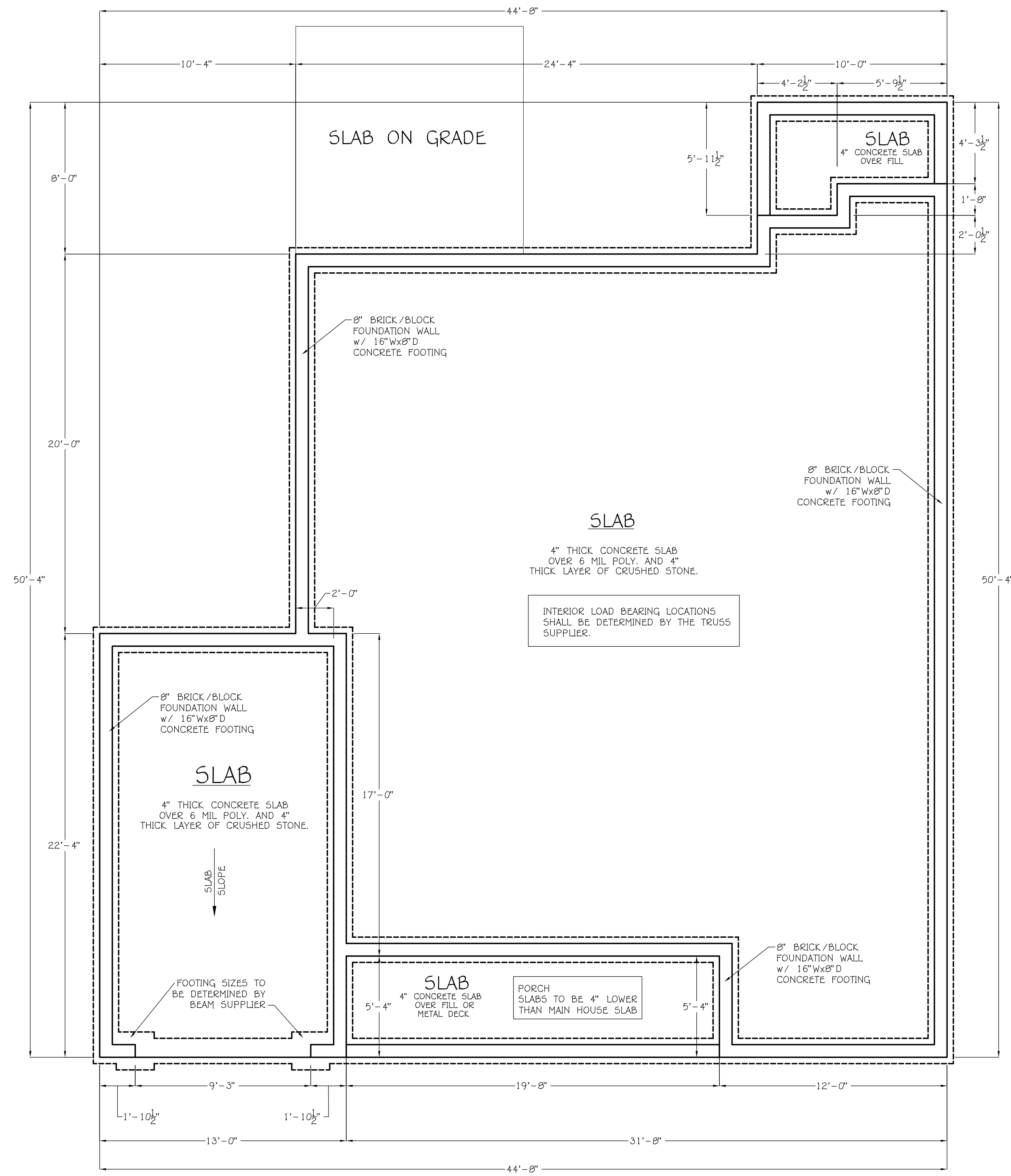
**RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"

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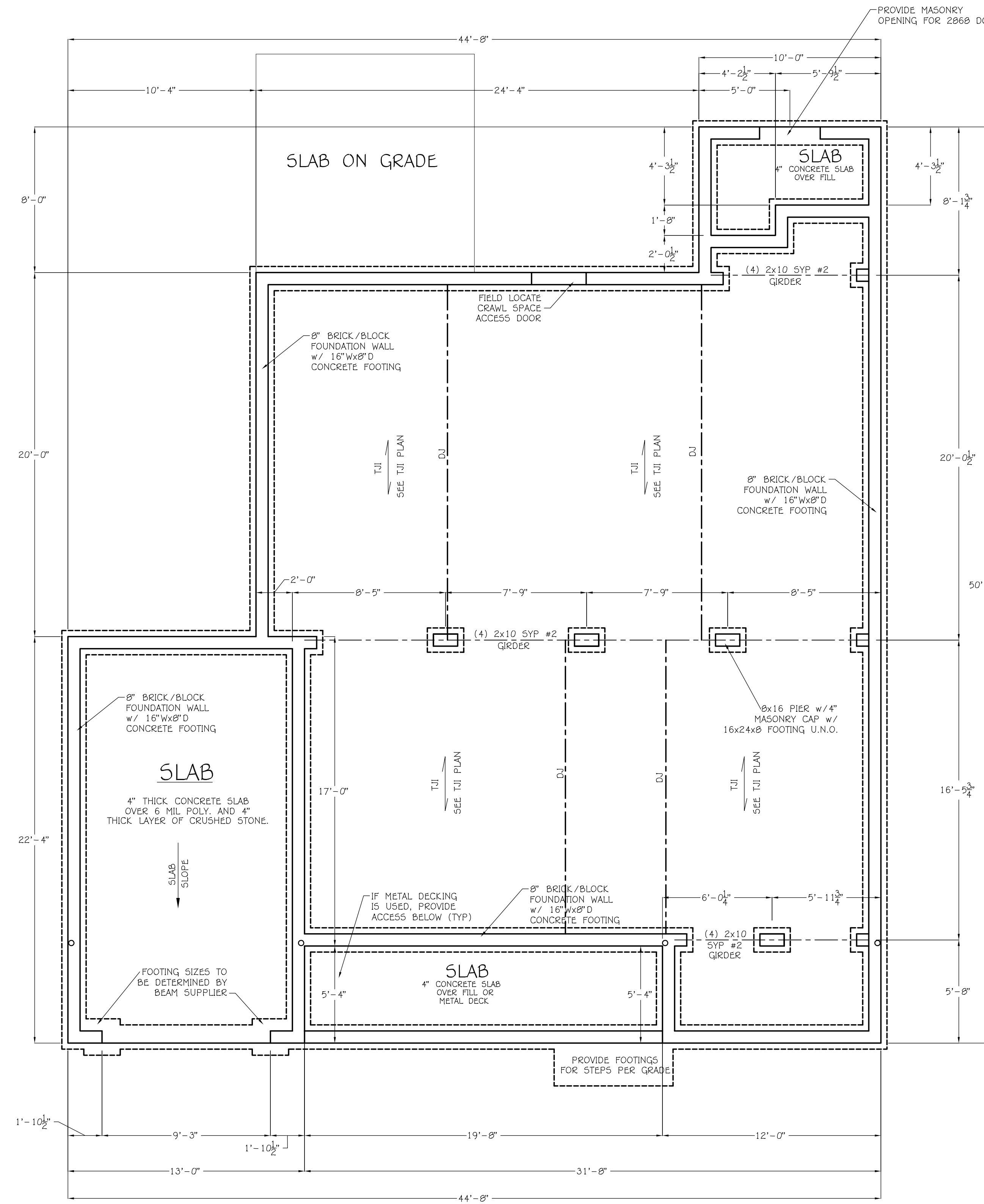
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2. All footings shall bear on original undisturbed soil.
3. The 28-day compressive strength of all footings is 3,000 PSI
4. All reinforcing steel to be ASTM A615 grade 60
5. Use ASTM C90 CMU f'm = 1500 PSI
6. Use ASTM C216 face brick f'm = 3000 psi; attach to wood frame with minimum #22 galvanized sheet gauge corrosion resistive corrugated metal ties 7/8" wide at vertical intervals max. 16" o.c. and horizontal intervals maximum 24" o.c. Provide weepholes at 33" o.c. max. at first course above flashing U.N.O.
7. Field verify all wall thicknesses. Width may vary per grade.
8. Foundation walls to extend 6" (min.) above finished grade, or 4" (min.) above grade for masonry veneer.
9. Where provided in slabs on ground, reinforcement shall be supported to remain in place from the center to upper one third of the slab for the duration of the concrete placement.
10. Provide expansion joint around perimeter of garage slab.
11. Garage and porch slabs to be 4" lower than main house finished floor where possible.



SLAB FOUNDATION

Foundation Notes:

1. Footing widths are based on a load-bearing soil capacity of 2000 psf. For any variations, see Section R403 in the 2018 NC residential code book.
2. All footings shall bear on original undisturbed soil.
3. The 28-day compressive strength of all footings is 3,000 PSI
4. All reinforcing steel to be ASTM A615 grade 60
5. Use ASTM C90 CMU f'm = 1500 PSI
6. Use ASTM C216 face brick f'm = 3000 psi; attach to wood frame with minimum #22 galvanized sheet gauge corrosion resistive corrugated metal ties 7/8" wide at vertical intervals max. 16" o.c. and horizontal intervals maximum 24" o.c. Provide weepholes at 33" o.c. max. at first course above flashing U.N.O.
7. Exterior walls of houses on foundation systems and slab on grade houses shall be anchored to the foundation system or slab with at least 1/2"x10" dia. bolts or approved metal straps placed 6"-0" on center and not more than 12" from corners. Bolts shall extend a minimum of 15" into the masonry or 7" into concrete. Straps shall be embedded per manufacturer's specifications. See section R 403.1.6 in the 2018 NC Residential Code Book.
8. Field verify all wall thicknesses. Width may vary per grade.
9. Foundation walls to extend 6" (min.) above finished grade, or 4" (min.) above grade for masonry veneer.
10. Where provided in slabs on ground, reinforcement shall be supported to remain in place from the center to upper one third of the slab for the duration of the concrete placement.
11. Provide expansion joint around perimeter of garage slab.
12. Garage and porch slabs to be 4" lower than main house finished floor where possible.
13. If pier height is more than (4) times the least face dimension, pier must be filled solid.
14. Provide 6mil polyethylene vapor retarder to cover ground surface of the crawl space.
15. Crawl space vent calculation (based on 16x8 vent w/ 55 IN<sup>2</sup> opening):  
Area under floor joist = 1226 SF  
Amount of vented area required = 1226/150 = 8.17 SF  
Amount of free air space per vent used is .38 SF  
Amount of vents required are 8.17 SF / .38 SF = 22  
Reduce Qty. by half since 6 mil. poly. is used 22/2 = 11
16. Provide minimum 36"W x 24"H crawl space access door.
17. One foundation vent shall be within 3'-0" of each corner of the building. (R408.1.2 in the 2018 NC Residential Code)
18. Joists under parallel bearing partitions shall be doubled or a beam of adequate size to support the load shall be provided.
19. Point loads are denoted by circles inscribed in piers.
20. DJ = DOUBLE JOIST
21. Block between joist at girder. Support point loads to piers.



CRAWL SPACE FOUNDATION

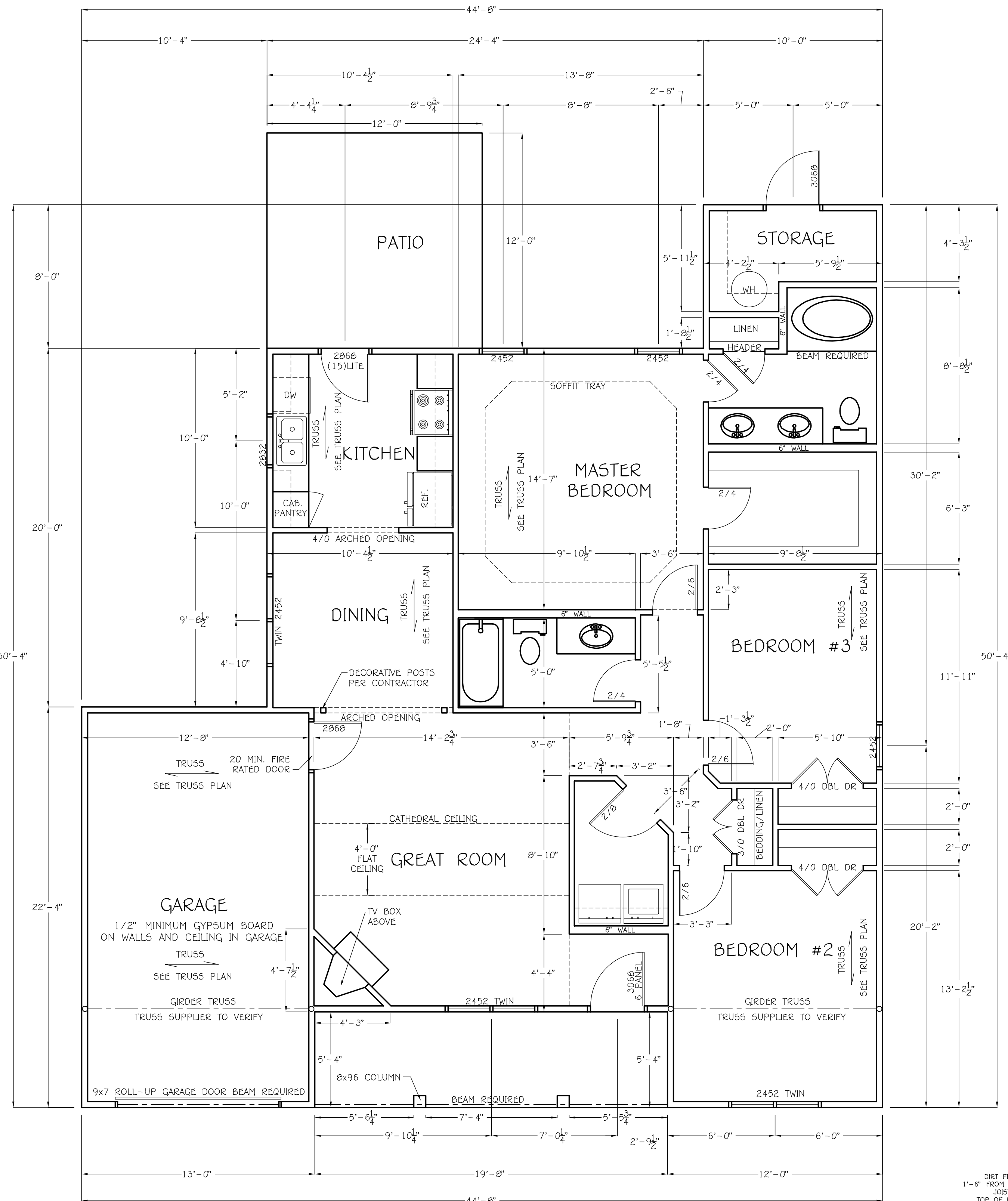
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GLABEX 3	
Date:	8/13/23
Scale:	1/4" = 1'-0"
Drawn For:	Glaxex Consortium
	757-513-8987
	Sheet No. A2 OF 3
FOUNDATION PLAN	
GLABEX 3	



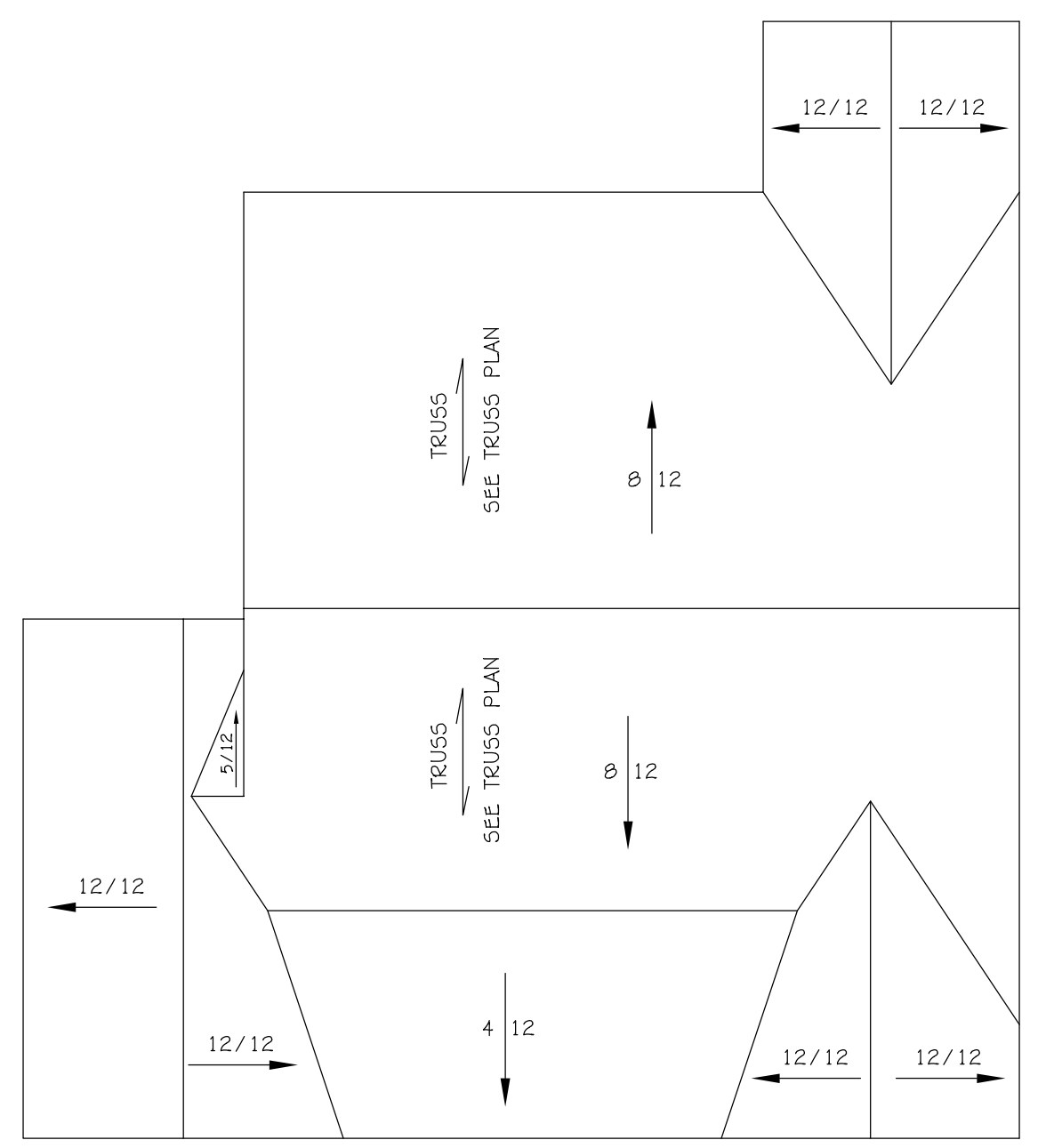
**FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

APPRAISAL S.F.	
FIRST FLOOR-	1325
GARAGE-	284
FRONT PORCH-	105
STORAGE-	50

**VERIFY 2452 WINDOWS  
WILL MEET EGRESS  
BEFORE ORDERING**

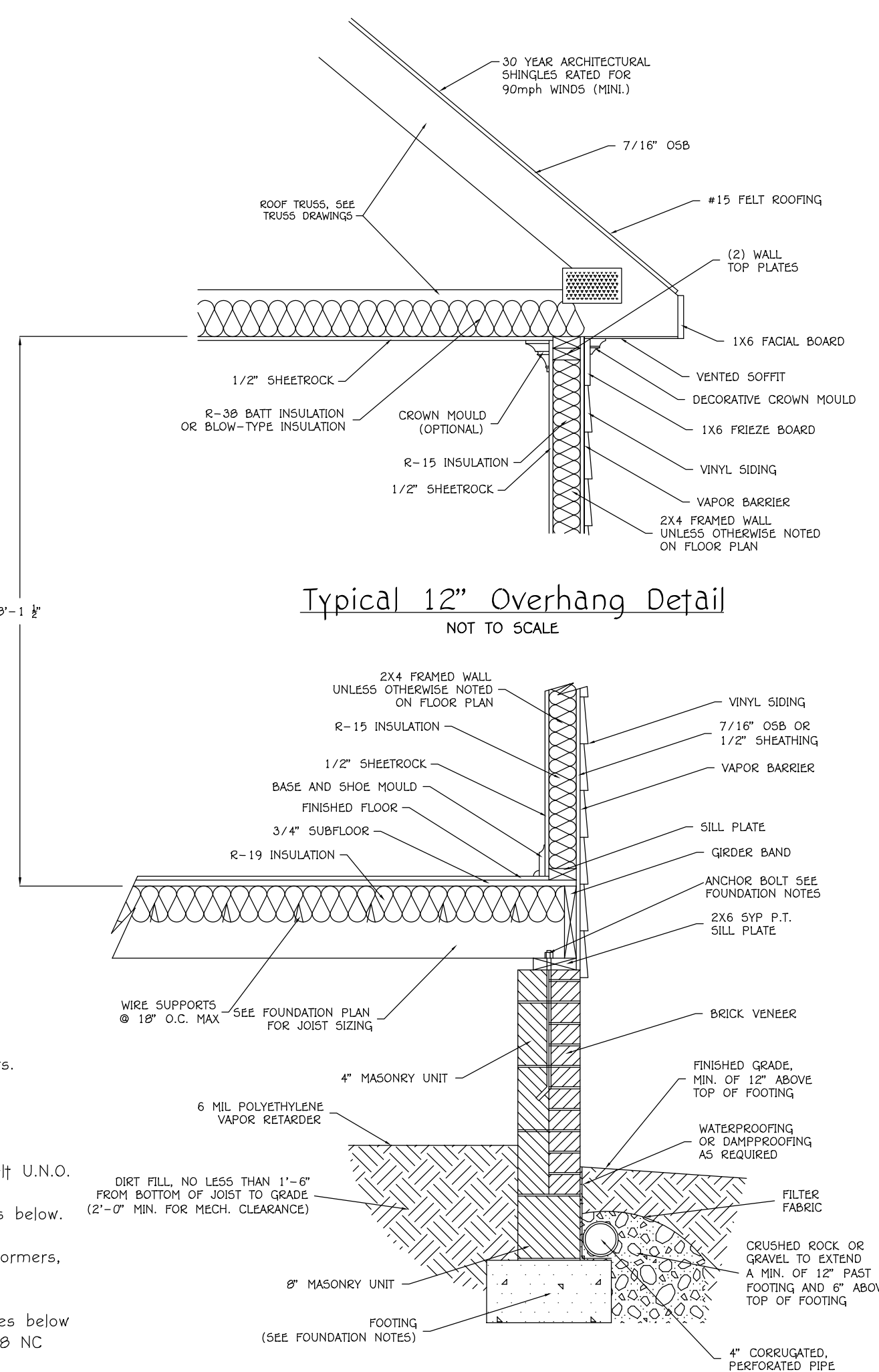
**Roof Notes:**

- Opposing members at the ridge must align within the thickness of the ridge member. Regularly spaced hip and valley rafters need not align.
- A 1x6 or 2x4 collar beam shall be nailed in the upper third of the roof to every third pair of rafters not to exceed 4 feet on centers.
- Attic Ventilation Calculation:  
Roof Area = 1950 SF  
Ventilation area required = 1950/150 = 13.055 SF  
13.05 SF = 1800 SQ IN  
1800/10 SQ IN per LF = 105 FT of vent required  
Install 8" = Ridge vent  
Install continuous soffit vent  
Install mechanical vents if required
- All ridge and valley beams to be sized by others.
- All rafters to be 2x8 SPF #1 o.c. or better, unless otherwise noted.
- Roof sheathing shall be 7/16" OSB with #15 felt U.N.O.
- All joists and rafters shall be aligned over studs below.
- Use (2) 2x members for all roof openings at dormers, chimney framing, etc.
- Provide two layers of underlayment for all pitches below 4/12 as required in Section R905.2 of the 2018 NC residential code book.

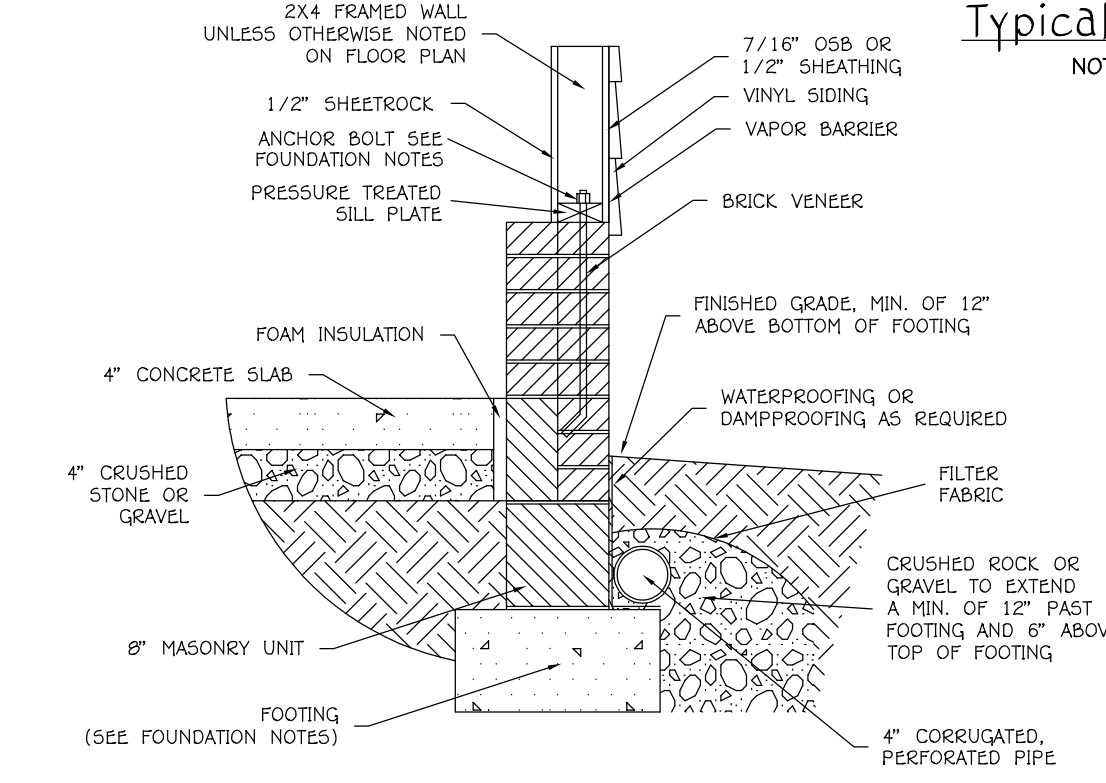


**ROOF PLAN**  
SCALE: 1/8" = 1'-0"

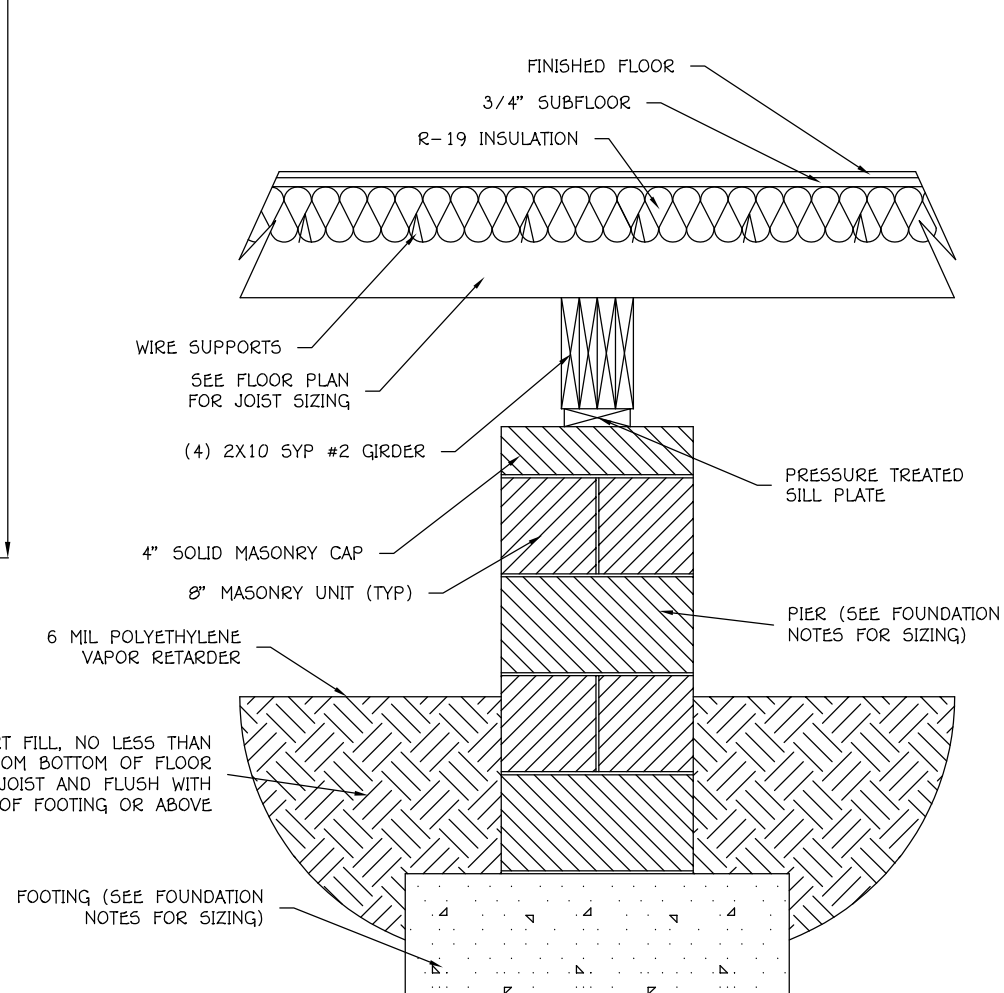
**Typical 12" Overhang Detail**  
NOT TO SCALE



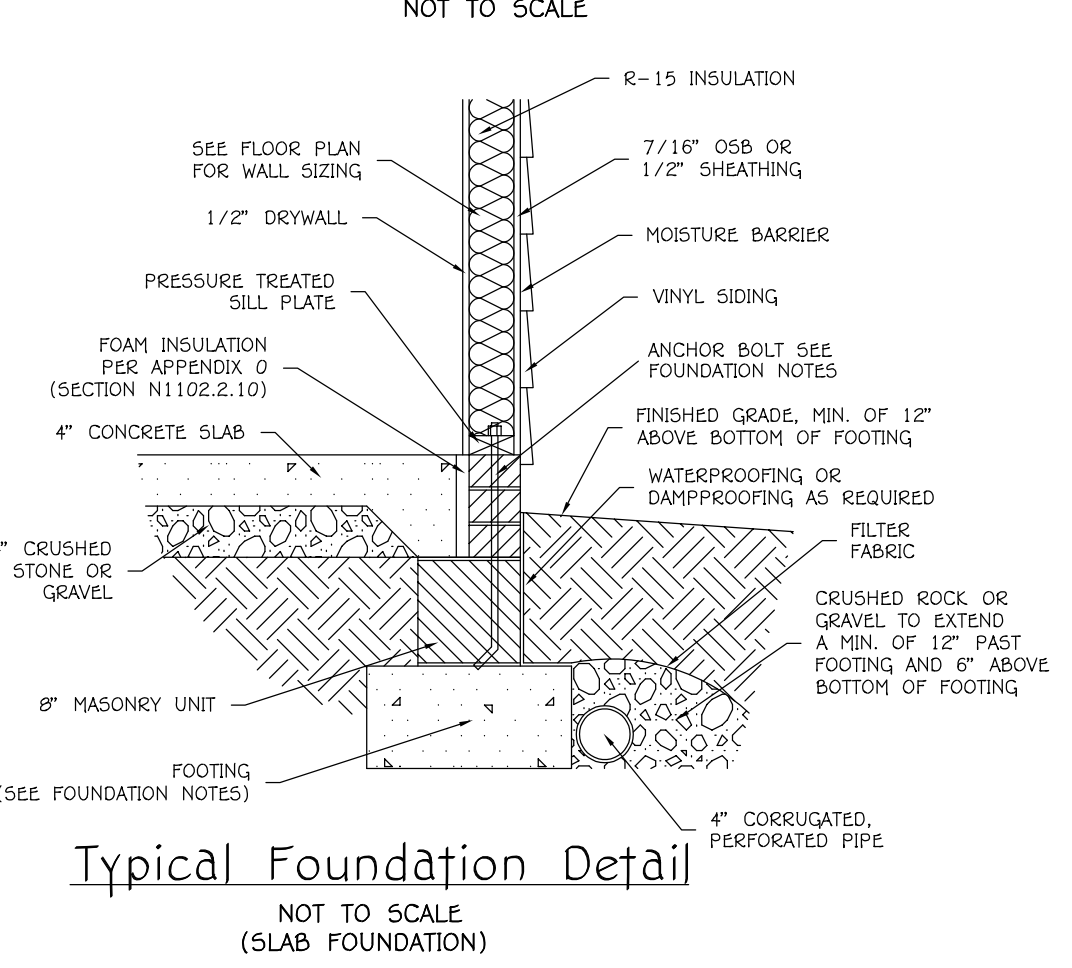
**Typical Wall Detail**  
NOT TO SCALE



**Typical Garage Detail**  
NOT TO SCALE



**Typical Pier Detail**  
NOT TO SCALE



**Typical Foundation Detail**  
NOT TO SCALE (SLAB FOUNDATION)

**First Floor Notes:**

- Ceiling height to be 8'-1 1/2" unless otherwise noted.
- Vent exhaust fan to outside.
- Exterior wall bracing shall be in accordance with Section R602.10 in the 2018 NC residential code book.
- Manufacturer (or provider) shall size all beams and columns.
- Contractor to verify all exterior stud spacing and sizing. Exterior wall dimensions include sheathing thickness.
- All angled walls shown are at 45 degrees.
- Exterior header heights to be 7'-0" (nominal) unless otherwise noted. Interior door height to be 6'-8" (nominal). Header heights are noted WITHOUT INCLUDING TRANSOMS.
- Interior door sizes are listed in feet/inches, so a 2/8 door would be 2'-8" wide. Exterior door and window sizes are also listed in feet and inches, so a 3060 window would be 3'-0" by 6'-0".
- Stair riser/tread info applies to stringers, not final treads.
- Window/door provider to verify tempered glass locations (inner/outer panes), compliance with egress requirements and presence of required opening limitation devices prior to ordering of windows and doors.
- Common emergency/rescue opening requirements:
  - Bottom sill to be no more than 44" above the floor.
  - Minimum net clear open area to be 4.0 s.f.
  - Minimum net clear height to be 22"
  - Minimum net clear width to be 20"
  - Grade or ground floor windows to have minimum total glazing of 5.0 s.f.
  - Upper story windows to have min. total glazing of 5.7 s.f.
- The 2018 NC Energy Code requires windows to comply with a min. U-value of .35 and a min. SHGC of .30 in lieu of a percentage calculation between glazing and wall area.
- See Section N1102 in the 2018 NC residential code book for air barrier requirements at exterior tubs, showers, stairs & fireplaces.
- See Section R807 in the 2018 NC residential code book for attic access requirements. Field locate as required.

**General Framing Notes:**

- All lumber in contact with concrete or masonry shall be pressure treated
- Provide drainage plane between stone veneer and all framing w/ weep holes as needed.
- All framing to be 16" o.c. U.N.O.; wall framing dimensions are based on 2x4 studs U.N.O.
- Framing Lumber shall be Southern Yellow Pine #1 grade and/or Spruce, Pine or Fir #2, as Noted, kiln dried (MC=15% or less)
- All Walls 9 ft in height and over use (1) course of blocking
- Studs and joists shall not be cut to install plumbing or wiring without adding metal or wood side pieces to strengthen the member to its original capacity
- Nail multiple members with (2) rows of 16d nails staggered 32" o.c. and use (3) 16d nails 2" in at each end.
- Nail floor joist to sill plate with 8d toe-nails.
- Provide 2-2x8 strongback at mid span for all ceiling joists over 10'-0" span.

**FLOOR JOIST SPANS:**

TABLES R502.3.1(1) & R502.3.1(2)

**CANTILEVER SPANS:**

TABLES R502.3.3(1) & R502.3.3(2)

**GIRDER/HEADER SPANS:**

TABLES R602.7(1), R602.7(2) & R602.7(3)

**CEILING JOIST SPANS:**

TABLES R802.4(1) & R802.4(2)

**RAFTER SPANS:**

TABLES R802.5.1(1), R802.5.1(2), R802.5.1(3), R802.5.1(4), R802.5.1(5), R802.5.1(6), R802.5.1(7) & R802.5.1(8)

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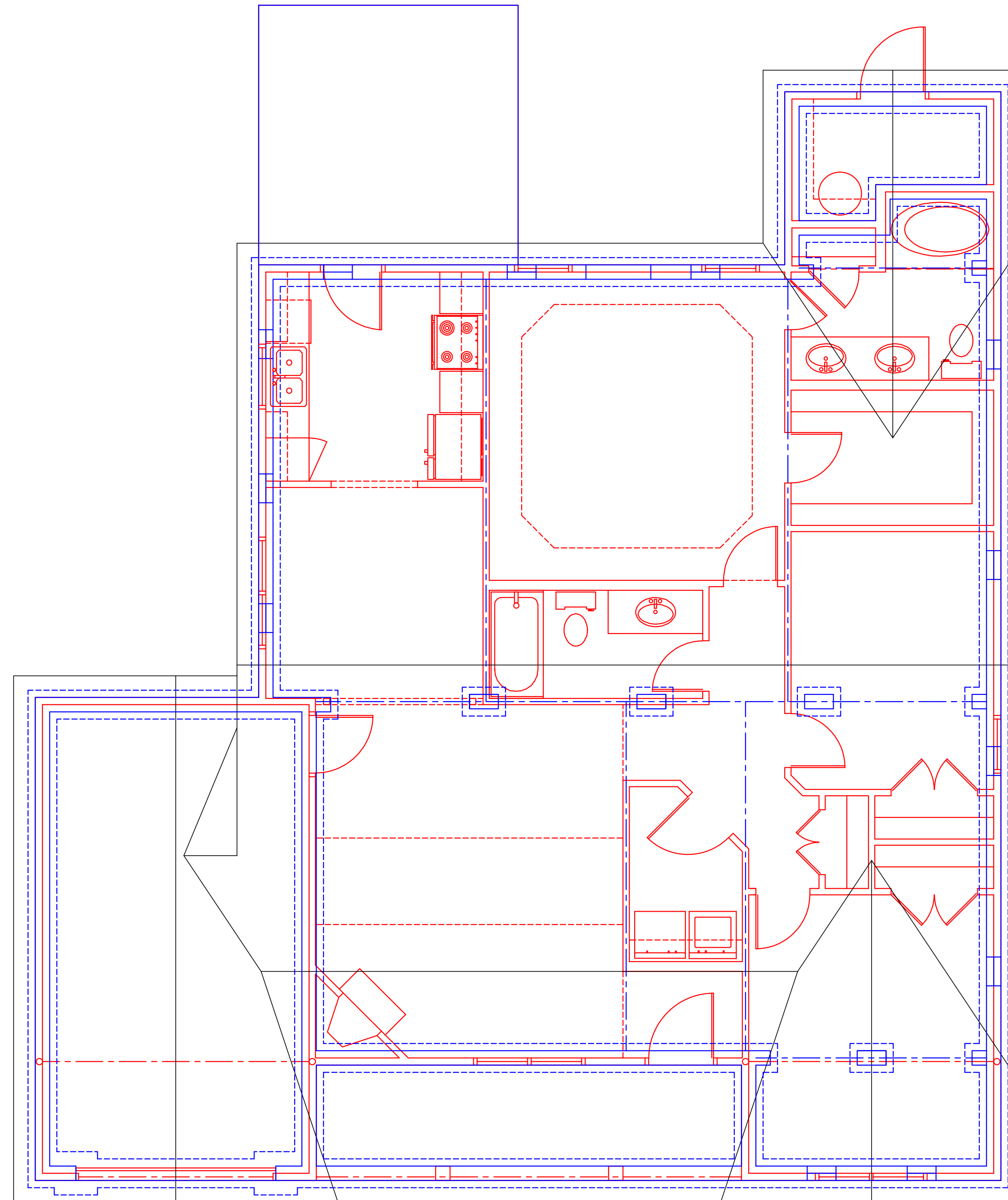
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**GLABEX 3**

Date:	8/13/23	Scale:	A5 NOTED
Drawn For:	GlabeX Consortium	Sheet No.	A3 OF 3
FLOOR/ROOF PLAN & DETAILS		GLABEX 3	



KEY	
	FOUNDATION
	FIRST FLOOR
	ROOF

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<b>GLABEX 3</b>			
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Drawn For:	GlabeX Consortium 757-513-8987	Sheet No.	C1 OF 1
<b>COMPOSITE PLAN</b>			<b>GLABEX 3</b>