

Zoning Case No.: W-3596

Property Address: 1199 Hayes Forest Drive

Parcel Identification Number(s): PINs 6827-04-7250, 6827-14-6433, 6817-93-6884, and 6817-93-8680.

*Hereinafter referred to as the "Property"*

WRITTEN CONSENT TO CONDITIONS  
PURSUANT TO 160D-703

1. I hereby certify that authority has been given to me, by all owners of the Property, to consent to the conditions of the special use district approval.
2. I hereby consent to the following conditions, as required by North Carolina General Statute 160D-703:

- **PRIOR TO ISSUANCE OF CERTIFICATE(S) OF OCCUPANCY:**

- A twenty (20)-foot type II bufferyard shall be required along the eastern property boundary. Existing vegetation shall be used towards this requirement where feasible.
- A thirty (30)-foot undisturbed buffer meeting a twenty (20) foot Type II bufferyard planting requirement shall be maintained along the southern property boundary. Existing vegetation shall be used towards this requirement where feasible.
- A fifty (50)-foot undisturbed buffer meeting a twenty (20) foot Type II bufferyard planting requirement shall be maintained along the property boundary shared with the following PINs: 6827-14-2186, 6827-14-3152, and 6827-14-4008. Existing vegetation shall be used towards this requirement where feasible.

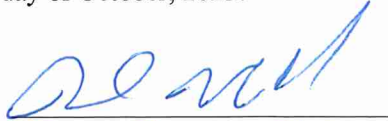
- **OTHER REQUIREMENTS:**

- Any future access to Freds Road shall be limited to a gated emergency-access-only connection.
- Signage shall be limited to two (2) single-sided monument signs with a maximum height of six (6) feet and a thirty-six (36) foot maximum copy area per sign.

3. I acknowledge that this written consent is a condition precedent to placement of the Property into a special use district.

This the 17<sup>th</sup> day of October, 2023.

By:



Name:

Reed VanderSlik

Title:

President and CEO

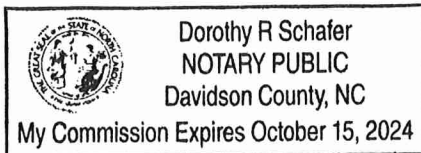
Date:

10/17/2023

STATE OF NORTH CAROLINA

COUNTY OF Forsyth

I certify that the following person(s) personally appeared before me this day, each acknowledging to me that he or she voluntarily signed the foregoing document for the purpose stated therein and in the capacity indicated: Reed VanderSlik, President and CEO.



Notary Public: Dorothy R. Schafer

Printed Name: Dorothy R. Schafer

Commission Expires: October 15, 2024