

- KEY NOTES/LEGEND**
- (A) PROPOSED DRIVE RACK.
 - (B) PROPOSED DUMPSTER LOCATION. PROVIDE VISUAL SCREENING CONSISTING OF MATERIAL MATCHING PROPOSED BUILDING FACADE OF NEAREST BUILDING.
 - (C) EXISTING SIDEWALK TO BE REMOVED AND NEW 5' WIDE SIDEWALK INSTALLED 6' BEHIND CURB IN ACCORDANCE WITH CITY OF WINSTON-SALEM STREETS DEPARTMENT. PROVIDE A PROPOSED 5' SIDEWALK EASEMENT ALONG THE FRONTAGE OF SALEM AVENUE TO THE LIMITS OF THIS SIDEWALK CONSTRUCTION.
 - (D) PROPOSED 24" STOP BAR.
 - (E) PROPOSED ANCHORED CONCRETE WHEEL STOPS.
 - (F) EXISTING SIDEWALK.
 - (G) PROPOSED BUILDING.
 - (H) PROPOSED ASPHALT PAVEMENT.
 - (I) PROPOSED ASPHALT PAVEMENT.
 - (J) PROPOSED CONCRETE.
 - (K) PROPOSED CONCRETE "LATTICE TYPE" PERMEABLE PAVER SYSTEM.
 - (L) PROPOSED CONCRETE STROLLWAY.
 - (M) 100 YEAR FLOODWAY.
 - (N) SOX OF FLOOD FRINGE.
 - (O) FLOOD FRINGE.

PROVIDE NEW SIGNALIZATION EASEMENT FOR WSOT INSTALLATION AND MAINTENANCE OF TRAFFIC LOOP DETECTORS AND SIGNAL POLES. EXACT SIZE AND LOCATION SHALL BE IN ACCORDANCE WITH WSOT REQUIREMENTS.

PROVIDE 5' SIDEWALK EASEMENT ALONG FRONTAGE OF SALEM AVE. TO LIMITS OF PROPOSED SIDEWALK CONSTRUCTION. SEE KEYNOTE "C".

PROVIDE FUTURE 50' TEMPORARY CONSTRUCTION EASEMENT TO PROPERTY LINE TO ALLOW CONSTRUCTION OF FUTURE PARKING LOT STAGE. SEE GENERAL NOTE "E".

SITE DATA
 PROPERTY OWNER: SEE OWNER LISTING
 PETITIONER: DAVID CAIR, 3577 COTTONWOOD LANE, WINSTON-SALEM, N.C. 27127, PHONE: (336) 331-2888, EMAIL: dcair1081@gmail.com
 ENGINEER: ALLIED DESIGN, INC., 4720 KESTER MILL ROAD, WINSTON-SALEM, N.C. 27103, PHONE: (336) 765-2377, FAX: (336) 760-8886, STEVE M. CAUSEY, P.E., EMAIL: steve@alldesign-engineer.com
 SURVEYOR: STANTEC CONSULTING INC., SUITE 200, 150 DAK BLVD., WINSTON-SALEM, N.C. 27105, PHONE: (336) 758-7400, FAX: (336) 759-3900
 QZINSKI SURVEYING CO., 727 GAZES AVENUE, WINSTON-SALEM, N.C. 27103, PHONE: (336) 722-0554, FAX: (336) 755-2977
 ALIEN ASSOCIATES, P.A., 4720 KESTER MILL ROAD, WINSTON-SALEM, N.C. 27103, PHONE: (336) 760-8886, BOB BAUGHMAN, P.L.S.

GENERAL NOTES

- EXISTING SITE BOUNDARY INFORMATION TAKEN FROM A SURVEY COMPLETED BY STANTEC CONSULTING INC., QZINSKI SURVEYING CO., ALLIED ASSOCIATES, P.A., AND AVAILABLE FORSH COUNTY TOPOGRAPHIC MAPS.
- EXISTING SITE LOCATION AND TOPOGRAPHIC INFORMATION TAKEN FROM A SURVEY COMPLETED BY STANTEC CONSULTING INC., QZINSKI SURVEYING CO., ALLIED ASSOCIATES, P.A., AND AVAILABLE FORSH COUNTY TOPOGRAPHIC MAPS.
- ALL DEVELOPMENT SHALL CONFORM WITH THE FORSH COUNTY "UNIFIED DEVELOPMENT ORDINANCE".
- ALL DIMENSIONS ARE TO EDGE OF PAVEMENT, BACK OF CURB AND FACE OF BUILDING, UNLESS OTHERWISE NOTED. VERIFY ALL BUILDING DIMENSIONS WITH ARCHITECT PRIOR TO START OF CONSTRUCTION.
- PUBLIC WATER AND SEWER SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY-COUNTY UTILITIES COMMISSION.
- ALL WATER AND SEWER MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF WINSTON-SALEM, MAY, 2004 EDITION.
- GATES FOR RESIDENTIAL PARKING AREA SHALL BE IN ACCORDANCE WITH WINSTON-SALEM FIRE DEPARTMENT REQUIREMENTS.
- EASEMENTS FOR PROPOSED GREENWAY AND PROPERTY DEDICATION FOR PROPOSED STROLLWAY WILL NEED TO BE RECORDED PRIOR TO ISSUANCE OF BUILDING PERMITS.
- ALL LIGHTING SHALL BE OF THE SHOBOX TYPE OR OTHERWISE SHIELDED NOT TO CAST DIRECT LIGHT ONTO ADJACENT RESIDENTIAL PROPERTIES.
- NO PAVED SURFACES SHALL BE ALLOWED WITHIN THE 100-YEAR FLOODWAY.
- THE LOADING SPACES SHOWN IN THE PLAN DO NOT MEET THE SIZE REQUIREMENTS (12'x65') FOR TRACTOR TRAILER DELIVERY BUT THIS WILL NOT BE AN ISSUE. ALL OF THE NECESSARY LOADING/DELIVERY WILL BE HANDLED BY SMALLER BOX TRUCKS.
- ALL PARKING AND PEDESTRIAN AREAS ARE ENCOMPASSED BY CROSS ACCESS EASEMENTS WHICH WILL ALLOW FOR SHARED PARKING AND ACCESS.
- FLOOD FRINGE AREA FOR NORTH SIDE OF SALEM CREEK MATCHES 100 YEAR FLOODWAY LIMIT.

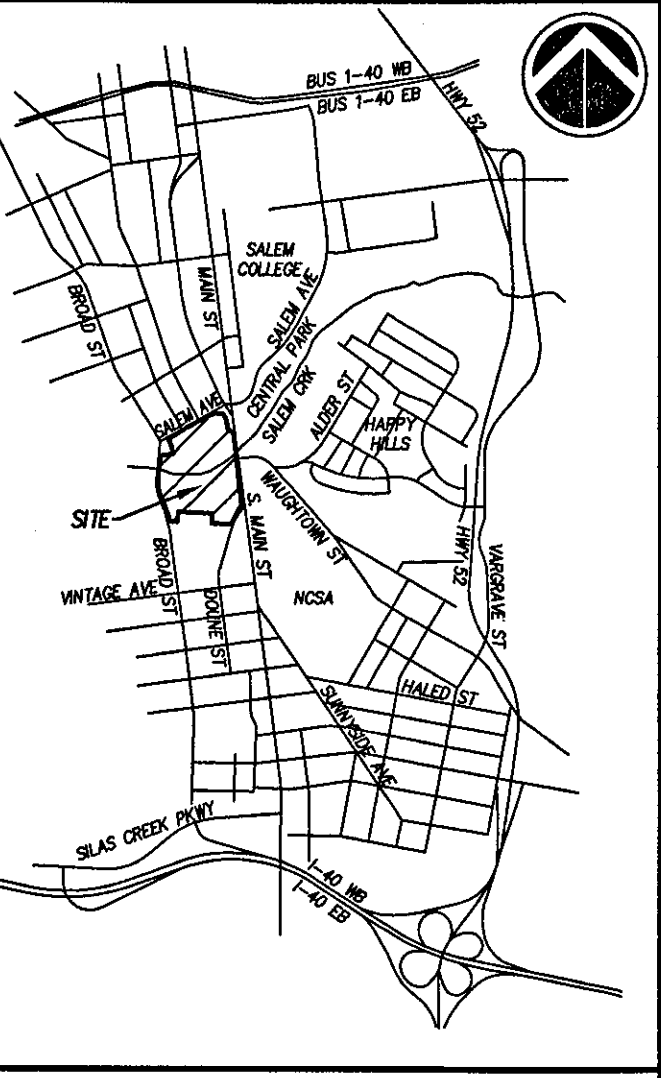
THIS SITE PLAN AMENDMENT IS FOR PIN-8835-30-1528 AND WELL AS A PORTION OF PIN-8835-30-0957 AND A PORTION OF PIN-8835-30-2625. THERE IS A PROPOSED PROPERTY LINE SHOWN WHICH DEPICTS THE PROPERTY AND PORTIONS OF PROPERTY SELECTED IN THE PIN NUMBERS LISTED THAT THE PETITIONER WILL PURCHASE AND DEVELOP.

PROPOSED DEVELOPMENT PROPERTY OWNER LEGEND

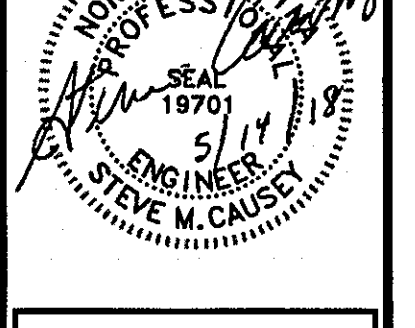
DD-BLOCK 6501 LOT 102 PIN # 8835-30-0957 SUBDIVISION PROPERTY HOLDINGS, LLC ZONING: MU-3	EE-BLOCK 6501 LOT 006P PIN # 8835-30-0957 HAROLD LAUREN BOYLE ZONING: MU-3	FF-BLOCK 6501 LOT 006G PIN # 8835-30-0957 ZONING: MU-3	GG-BLOCK 6501 LOT 201 PIN # 8835-30-0957 FLAGSHIP 1405 BROAD STREET, LLC ZONING: MU-3	HH-BLOCK 6501 LOT 006 PIN # 8835-30-0957 PT. SAN ANTONIO MOB LP ZONING: MU-3
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PROPOSED DEVELOPMENT PROPERTY OWNER LEGEND

II-BLOCK 6612 LOT 0038 PIN # 8835-30-1183 SUBDIVISION PROPERTY HOLDINGS, LLC ZONING: MU-3	JJ-BLOCK 6675 LOT 000A PIN # 8835-30-1183 SHAMM CONDOMINIUM & GATEWAY ZONING: MU-3	KK-BLOCK 6675 LOT 007 PIN # 8835-30-1183 BLOCK 6612 LOT 004 PIN # 8835-30-0957 PIN # 8835-30-0957 PIN # 8835-30-1528 ZONING: MU-3	LL-BLOCK 6675 LOT 007 PIN # 8835-30-1183 BLOCK 6612 LOT 004 PIN # 8835-30-0957 PIN # 8835-30-1528 ZONING: MU-3
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 CIVIL ENGINEERING AND SURVEYING
 4720 KESTER MILL ROAD
 WINSTON-SALEM, NORTH CAROLINA 27103
 Phone: (336) 765-2377
 Email: alstoney@aol.com



PRELIMINARY SITE PLAN
 FOR PLANNING BOARD REVIEW ONLY

ADJOINING PROPERTY OWNER LEGEND

A-BLOCK 0582 LOT 0008 PIN # 8835-30-4700 MCLAN CONSULTING SERVICES, LLC ZONING: U	B-BLOCK 0582 LOT 000C PIN # 8835-30-4747 MCLAN CONSULTING SERVICES, LLC ZONING: U	C-BLOCK 0582 LOT 000D PIN # 8835-30-4786 MCLAN CONSULTING SERVICES, LLC ZONING: U	D-BLOCK 0582 LOT 000E PIN # 8835-30-4788 MCLAN CONSULTING SERVICES, LLC ZONING: U	E-BLOCK 0577 LOT 118 PIN # 8835-31-2085 MCLAN CONSULTING SERVICES, LLC ZONING: PB	F-BLOCK 0578 LOT 237 PIN # 8835-31-0183 TUMELLA, LLC ZONING: H	G-BLOCK 0578 LOT 204 PIN # 8835-31-0219 CITY OF WINSTON-SALEM ZONING: H	H-BLOCK 0578 LOT 200 PIN # 8835-31-3373 MCLAN CONSULTING SERVICES, LLC ZONING: H	I-BLOCK 0578A LOT 4618 PIN # 8835-31-0228 CITY OF WINSTON-SALEM ZONING: H	J-BLOCK 2413 LOT 001 PIN # 8835-31-1128 CITY OF WINSTON-SALEM ZONING: PB	K-BLOCK 0610 LOT 400 PIN # 8835-30-2788 NC DEPT OF TRANSPORTATION ZONING: H	L-BLOCK 0610 LOT 401 PIN # 8835-30-2827 CITY OF WINSTON-SALEM ZONING: H	M-BLOCK 0610 LOT 102A PIN # 8835-30-4053 SOUTHEAST GATEWAY VENTURES, L.L.C. ZONING: H	N-BLOCK 0683 LOT 004 PIN # 8835-30-6293 C.W. MYERS TRADING POST, INC. ZONING: H	O-BLOCK 0683 LOT 005 PIN # 8835-30-6290 SPR. MAIN, LLC ZONING: H	P-BLOCK 0683 LOT 007 PIN # 8835-30-6276 NC DEPT OF TRANSPORTATION ZONING: H	Q-BLOCK 0683 LOT 008 PIN # 8835-30-6291 HER INVESTMENTS, LLC ZONING: H	R-BLOCK 0683 LOT 009 PIN # 8835-30-6275 BLAKE VENAWAY ZONING: H	S-BLOCK 0676 LOT 201 PIN # 8835-30-2686 LEONARD & LANGRISH SINGLAR BEVERLY L ZONING: H	T-BLOCK 0676 LOT 202B PIN # 8835-30-2686 HAROLD E. DAY ZONING: U	U-BLOCK 0686 LOT 307 PIN # 8835-30-6065 YARBROUGH REALTY & MANAGEMENT ZONING: H	V-BLOCK 6501 LOT 005 PIN # 8835-30-7666 DUKE POWER CO ZONING: CI	W-BLOCK 0686 LOT 108B PIN # 8835-30-6065 YARBROUGH REALTY & MANAGEMENT ZONING: H	X-BLOCK 2418 LOT 101C PIN # 8835-30-6284 DUKE POWER CO ZONING: CI	Y-BLOCK 6501 LOT 004 PIN # 8835-30-6274 DUKE POWER CO ZONING: CI	Z-BLOCK 6501 LOT 103D PIN # 8835-30-6065 CITY OF WINSTON-SALEM ZONING: H	AA-BLOCK 6501 LOT 103A PIN # 8835-30-6084 FAMILY SERVICES, INC. ZONING: MU-3	BB-BLOCK 0581 LOT 601 PIN # 8835-30-2450 CITY OF WINSTON-SALEM ZONING: H	CC-BLOCK 0581 LOT 104B PIN # 8835-30-6065 JAMES A. DANFORTH NORTH DANFORTH ZONING: H
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TRACT 1

ORIGINAL PROPOSED USES (MAY NOT BE CURRENT)

RESIDENTIAL BUILDING, SINGLE FAMILY, DUPLEX, TOWN HOME, MULTIFAMILY, TOWNHOUSE, URBAN, COMBINED USE, FRATERNITY OR SORORITY, ARTS AND CRAFTS STUDIO, CONVENIENCE STORE, FOOD OR DRUG STORE, FURNITURE AND HOME FURNISHINGS STORE, GENERAL MERCHANDISE STORE, HARDWARE STORE, MOTORCYCLE DEALER, NURSERY, LAWN AND GARDEN SUPPLY STORE, RETAIL RESTAURANT (WITHOUT DRIVE-THROUGH SERVICE), RETAIL STORE, SPECIALTY SHOPPING CENTERS, BANKING AND FINANCIAL SERVICES, SERVICES A, SERVICES B, STORAGE SERVICES, RETAIL TESTING AND RESEARCH LAB, RECREATION SERVICES, INDOOR RECREATION FACILITY, PUBLIC SWIMMING POOL, PRIVATE, CHILD CARE INSTITUTION, CHILD DAY CARE CENTER, CHURCH OR CONGREGATION, CHURCH DAY CARE CENTER, CHURCH OR RELIGIOUS INSTITUTION, COMMUNITY, CHURCH OR RELIGIOUS INSTITUTION, NEIGHBORHOOD OR COLLEGE OR UNIVERSITY OFFICES, LIBRARY, PUBLIC MUSEUM OR ART GALLERY, NURSING CARE INSTITUTION, SCHOOL, PRIVATE SCHOOL, PUBLIC STADIUM, COLISEUM, OR EXHIBITION BUILDING

REVISED PROPOSED USES

RESIDENTIAL BUILDING, SINGLE FAMILY, DUPLEX, TOWN HOME, MULTIFAMILY, TOWNHOUSE, COMBINED USE, FRATERNITY OR SORORITY, ARTS AND CRAFTS STUDIO, CONVENIENCE STORE, FOOD OR DRUG STORE, FURNITURE AND HOME FURNISHINGS STORE, RETAIL STORE, MOTORCYCLE DEALER, NURSERY, LAWN AND GARDEN SUPPLY STORE, RETAIL RESTAURANT (WITHOUT DRIVE-THROUGH SERVICE), SHOPPING CENTER, BANKING AND FINANCIAL SERVICES, SERVICES A, SERVICES B, STORAGE SERVICES, RETAIL TESTING AND RESEARCH LAB, RECREATION SERVICES, INDOOR RECREATION FACILITY, PUBLIC SWIMMING POOL, PRIVATE, CHILD CARE INSTITUTION, CHILD DAY CARE CENTER, CHURCH OR CONGREGATION, CHURCH DAY CARE CENTER, CHURCH OR RELIGIOUS INSTITUTION, COMMUNITY, CHURCH OR RELIGIOUS INSTITUTION, NEIGHBORHOOD OR COLLEGE OR UNIVERSITY OFFICES, LIBRARY, PUBLIC MUSEUM OR ART GALLERY, NURSING CARE INSTITUTION, SCHOOL, PRIVATE SCHOOL, PUBLIC STADIUM, COLISEUM, OR EXHIBITION BUILDING

EXISTING ZONING: MU-3
PROPOSED ZONING: MU-3 (NO CHANGE)
TYPE OF REVIEW REQUESTED: SITE PLAN AMENDMENT

STREETS AND COVERAGES

TOTAL ACRES:	33.67	ACRE(S)
BUILDING TO LAND:	17.22	%
PAVEMENT TO LAND:	43.27	%
OPEN SPACE:	39.21	%
TOTAL:	100	%
BUILDING SQUARE FOOTAGE:	1,772,821 (FOOTPRINTS), 50 FT	
BUILDING HEIGHT:	60	FT OR STORES

DENSITY CALCULATIONS

NUMBER OF UNITS OR LOTS:	N/A	UNITS/ACRE OR LOTS/ACRE
PROPOSED USE(S):	RESIDENTIAL, 1 BEDROOM	
PARKING CALCULATION:	1.5 SPACES/DWELLING UNIT	
	1.5 x 48 UNITS	72 SPACES
	59	SPACES
PROPOSED USE(S):	RESIDENTIAL, 3 BEDROOM	
PARKING CALCULATION:	2 SPACES/DWELLING UNIT	
	2 x 50 UNITS	100 SPACES
	100	SPACES
PROPOSED USE(S):	RETAIL	
PARKING CALCULATION:	1 SPACE/300 SF	
	1 x (45,000 / 300)	150 SPACES
	152	SPACES
PROPOSED USE(S):	RESTAURANT/OUT DRIVE-THRU	
PARKING CALCULATION:	1 SPACE/100 SF	
	1 x (8,355 / 100)	84 SPACES
	84	SPACES
PROPOSED USE(S):	OUTDOOR DINING	
PARKING CALCULATION:	1 SPACE/100 SF x 25%	
	1 x (10,700 / 100) x 0.25	27 SPACES
	0	SPACES
PROPOSED USE(S):	PHYSICAL FITNESS FACILITY	
PARKING CALCULATION:	1 SPACE/225 SF	
	9,365 SF-371 STORAGE/MOVING	41 SPACES
	1 x (9,365 / 225)	41 SPACES
	385	SPACES
PROPOSED USE(S):	OFFICE	
PARKING CALCULATION:	1 SPACE/300 SF	
	1 x (77,000 / 300)	257 SPACES
	257	SPACES
REQUIRED PARKING:	1,047	SPACES

OFF-STREET PARKING

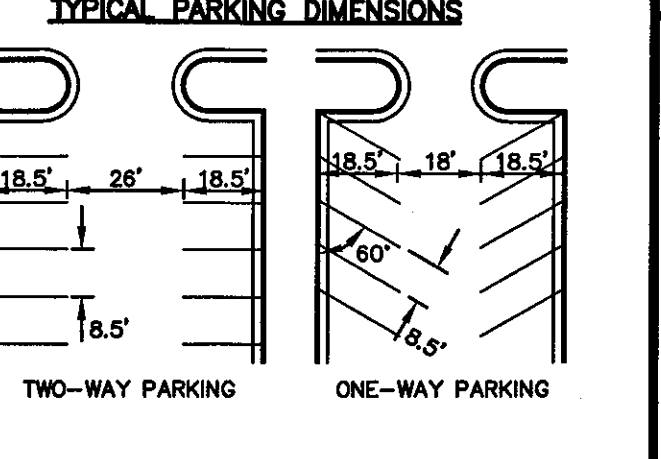
PARKING REDUCTION:	56 (BUS ROUTE)	SPACES
	52	SPACES
	31	SPACES
	306 (MU-3)	SPACES
	314	SPACES
TOTAL REQUIRED PARKING:	650	SPACES
OTHER ELIGIBLE INSPACES UP TO 5% (SEE BACKS)	32	SPACES
	UP TO 2% (MOTORCYCLE)	SPACES
	13	SPACES
UP TO 20% (COMPACT)	152	SPACES
TOTAL PROPOSED PARKING:	808	SPACES

OFF-STREET LOADING

LOADING/UNLOADING SPACES REQUIRED:	6
LOADING/UNLOADING SPACES PROVIDED:	6
SIZE:	VARIES (12'x25' & 12'x65')

JURISDICTION
 CITY OF WINSTON-SALEM

PURPOSE STATEMENT
 THE PURPOSE OF THIS SUBMITTAL IS FOR A SITE PLAN AMENDMENT TO REPLACE A 5,800 SF RESTAURANT, INCLUDING 1,500 SF OF OUTDOOR SEATING WITH A FOUR STORY 32 UNIT APARTMENT BUILDING IN TRACT 1. ADDITIONALLY, THE REVISIONS INCLUDE UPDATED PARKING CALCULATIONS TO REFLECT THE NEW PARKING REQUIREMENTS AND ADDITION OF A PROPOSED LOT LINE TO SUBDIVIDE THE AREA FOR THE 32 UNIT APARTMENT BUILDING.



GRAPHIC SCALE
 (IN FEET)
 1 inch = 60 ft

TRACT 1 PRELIMINARY SITE PLAN
 SHEET C1

GATEWAY WINSTON-SALEM
 ZONING CASE: W-2923
 SOUTHEAST GATEWAY VENTURES, L.L.C.
 WINSTON-SALEM, NORTH CAROLINA

PROJECT NO.: CAM004
DATE: 09/17/04
DRAWN BY: WAB
CHECKED BY: SNC

NO.	DATE	DESCRIPTION
1	10/17/12	REVISED FOR ADDITION TO 250' WVA AND UPDATES FOR PREVIOUSLY APPROVED SITE PLAN AMENDMENTS
2	05/07/16	REVISED FOR SITE PLAN AMENDMENT PRE-SUBMITTAL REVIEW
3	05/14/16	ISSUED FOR PLANNING BOARD APPROVAL
4	05/29/16	REVISED FOR PLANNING BOARD COMMENTS