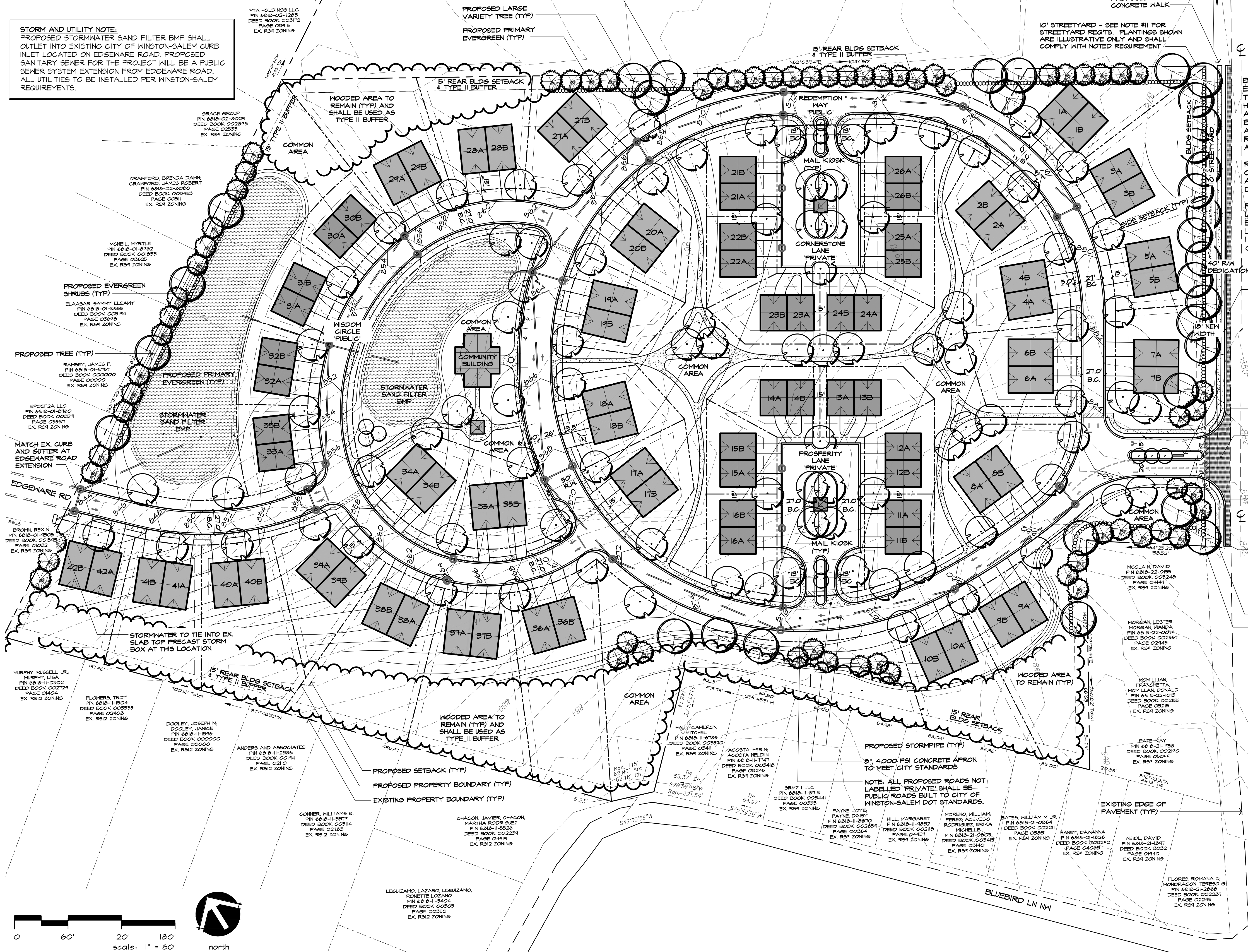


STORM AND UTILITY NOTE:
 PROPOSED STORMWATER SAND FILTER BMP SHALL OUTLET INTO EXISTING CITY OF WINSTON-SALEM CURB INLET LOCATED ON EDGEHARE ROAD. PROPOSED SANITARY SEWER FOR THE PROJECT WILL BE A PUBLIC SEWER SYSTEM EXTENSION FROM EDGEHARE ROAD. ALL UTILITIES TO BE INSTALLED PER WINSTON-SALEM REQUIREMENTS.

WINSTON-SALEM DOT NOTES:
 A DRIVEWAY PERMIT WILL BE REQUIRED FOR EACH PROPOSED ACCESS POINT ON TO THE PROPERTY. EACH ACCESS WILL NEED TO BE A HEAVY DUTY CONCRETE APRON (8" 4,000 PSI CONCRETE OVER 6" COMPACTED ABC) 40' OF RIGHT-OF-WAY FROM CENTER ALONG THE ENTRY FRONTAGE OF BATHABARA ROAD TO BE DEDICATED. WIDENING OF PAVEMENT 18' FROM CENTER WITH CURB AND GUTTER AND SIDEWALK REQUIRED ALONG ENTIRE FRONTAGE OF BATHABARA ROAD.

SIDEWALK NOTES:
 ALL SIDEWALKS TO BE CONCRETE WITH A MINIMUM WIDTH OF 5' AS SHOWN ON THE DRAWING. ALL CONCRETE WALKS AT CROSSWALKS SHALL BE ADA COMPLIANT WITH ADA RAMPS.



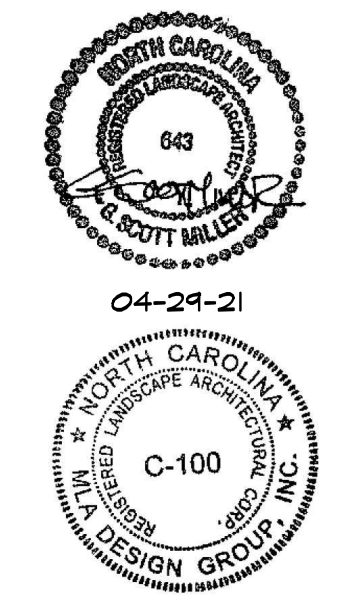
Site Information

- OWNER/DEVELOPER:**
LIVING WORD FELLOWSHIP CHURCH INC. - NICOLE NEIL
2060 BETHABARA RD., WINSTON-SALEM, NC 27106
PHONE: 336.978.1415 EMAIL: NIC.VIGOR@GMAIL.COM
- LANDSCAPE ARCHITECT:**
MLA DESIGN GROUP
ADDRESS: 120 CLUB OAKS COURT, SUITE 100, WINSTON-SALEM, NC 27104
CONTACT/PHONE NUMBER: PAUL FIDISHUN, (336) 765-1923, PAUL.MILLERLA@MLA.COM
- PROPERTY LOCATION & ZONING:**
PROPERTY ADDRESS: BETHABARA ROAD, WINSTON-SALEM, NORTH CAROLINA
PROPERTY IS LOCATED WITHIN THE CITY OF WINSTON-SALEM
TOTAL ACREAGE: 16.92 ACRES
PIN NUMBERS: 6818-12-3186, 6818-11-5881
EXISTING ZONING: MH 4 R54 PROPOSED ZONING: RM-5
EXISTING USE TRACT I: RESIDENTIAL PROPOSED USE: DUPLEX/TWIN HOMES
- BUILDING SETBACKS:**
FRONT BUILDING SETBACK: 15' SIDE (COMB.) BUILDING SETBACK: 15'
REAR BUILDING SETBACK: 15' SIDE (ONE SIDE) SETBACK: 7'
- LANDSCAPE SETBACKS:**
BUFFERYARD: 15' TYPE II BUFFERYARD REQUIRED
- PROPOSED DUPLEX/TWIN HOMES DENSITY:**
(42) PROPOSED DUPLEX/TWIN HOMES @ 2 UNITS EACH = (84) UNITS
TOTAL UNITS PROPOSED = (84) UNITS
(26) PROPOSED 3,000 S.F. BLDG. FOOTPRINT
DUPLEX/TWIN HOMES (1,500 S.F. BLDG. FOOTPRINT PER UNIT)
(16) PROPOSED 2,400 S.F. BLDG. FOOTPRINT
DUPLEX/TWIN HOMES (1,200 S.F. BLDG. FOOTPRINT PER UNIT)
DENSITY: 84 / 16.92 = 4.96 UNITS/ACRE
- BUILDING HEIGHT:**
MAXIMUM BUILDING HEIGHT OF THE PROPOSED DUPLEX/TWIN HOMES SHALL NOT EXCEED THE 40' MAX. HT. OF THE PROPOSED ZONING DISTRICT
- SITE COVERAGE:**
TOTAL LOT SIZE: 151,035 SQ. FT. (6.42 ACRES)
MAXIMUM IMPERVIOUS SURFACE: NA
EXISTING IMPERVIOUS AREA TO BE REMOVED: 12,415 S.F. (0.29 ACRES) - 2.0%
PROPOSED IMPERVIOUS: 243,915 S.F. (6.75 ACRES) - 40.0%
PROPOSED OPEN SPACE: 443,060 S.F. (10.17 ACRES) - 60.0%
TOTAL PROPOSED BUILDING TO LAND = 16.4%
TOTAL PROPOSED PAVED/GRAVELED SURFACES TO LAND = 23.6%
TOTAL PROPOSED OPEN SPACE TO LAND = 60.0%
PROPOSED DISTURBED AREA = 154,152 S.F.
THIS SITE IS NOT LOCATED WITHIN A WATER SUPPLY WATERSHED
- INFRASTRUCTURE:**
WATER: EXISTING PUBLIC SEWER: EXISTING PUBLIC GAS: AVAILABLE
- OFF-STREET PARKING:**
PARKING PROVIDED: PROPOSED (2) SPACES PER EACH DWELLING UNIT, EACH UNIT TO HAVE A FRONT LOADED GARAGE OR DRIVEWAY CAPABLE OF PARKING (2) VEHICLES PER CITY STANDARDS. 16' DRIVEWAY WIDTHS CURRENTLY SHOWN
PARKING REQUIRED COMMUNITY CENTER: 2,400/225 = (11) SPACES
EXISTING PROPOSED COMMUNITY CENTER: (12) SPACES
- STREETWAY:** 12' MINIMUM WIDTH ALONG 443' L.F. BATHABARA ROAD.
STREET TREES REQUIRED = 443 L.F. / 100 X (2) TREES = (9) STREET TREE
REQUIRED PLUS STREETWAY SHRUBS PLANTED 18" EDGE TO EDGE, MIN. 18" HT. AT TIME OF PLANTING.
STREET TREES PROPOSED = (22) LG. VARIETY CANOPY TREES, 2" CAL., 12' HT. MIN.
NOTE: THE STREETWAY SHALL HAVE A 3' MIN. HT. BERM AND TYPE I BUFFERYARD REQUIRED ALONG BATHABARA ROAD
- BUFFERYARD REQUIREMENTS:**
NORTHERN BUFFERYARD = 1,000 LF
REQUIRED PLANTINGS = 1,000 LF / 100 X (2) (8) (20) = (20) TREES, (20) PRIMARY EVERGREENS AND (200) SHRUBS
WESTERN BUFFERYARD = 640 LF
REQUIRED PLANTINGS = 640 LF / 100 X (2) (8) (20) = (13) TREES, (51) PRIMARY EVERGREENS AND (26) SHRUBS
SOUTHERN BUFFERYARD = 1310 LF
REQUIRED PLANTINGS = 1310 LF / 100 X (2) (8) (20) = (26) TREES, (105) PRIMARY EVERGREENS AND (260) SHRUBS
PROPOSED PLANTING: EXISTING TREE SAVE AREAS WILL BE UTILIZED TO MEET BUFFER REQUIREMENTS WHERE APPLICABLE. PROPOSED TREES, PRIMARY EVERGREENS AND SHRUBS WILL BE PLANTED AS NECESSARY TO FULFILL PLANTING REQUIREMENTS IN AREAS THAT EXISTING TREE STUDS DO NOT FULLFILL THE TYPE II REQUIREMENT.
- REQUESTING THE FOLLOWING USES ALLOWED IN RM5 ZONING DISTRICT TO REMAIN AS ALLOWED USES WITHIN THE PROPOSED RM5-ZONING:**
RESIDENTIAL BUILDING SINGLE FAMILY - RESIDENTIAL BUILDING DUPLEX - RESIDENTIAL BUILDING TWIN HOME - FAMILY GROUP HOME - A - RECREATION FACILITY PUBLIC - SWIMMING POOL, PRIVATE - ADULT DAY-CARE HOME - CHILD DAY CARE - SMALL HOME - CHURCH OR RELIGIOUS INSTITUTION, NEIGHBORHOOD - CHURCH OR RELIGIOUS, COMMUNITY - POLICE OR FIRE STATION
- NOTES AND PURPOSE STATEMENT:**
LIVING WORD FELLOWSHIP CHURCH IS REQUESTING A REZONING OF THE EXISTING PROPERTY FROM RS-4 AND MH TO RM-5. THIS REZONING IS BEING REQUESTED FOR THE CONSTRUCTION OF THE DUPLEX/TWIN HOMES AS SHOWN ON THIS PROPOSED SITE PLAN. THE CHURCH OWNED PROPERTY IS CURRENTLY MOSTLY VACANT WITH TWO MOBILE HOMES LOCATED WITHIN THE PROPERTY BOUNDARY. TO THE NORTH OF THE SITE IS A MOBILE HOME PARKS AND TO THE WEST AND SOUTH ARE SINGLE FAMILY HOMES. THE PROPOSED DUPLEX/TWIN HOMES WILL HAVE A TOTAL OF APPROXIMATELY (84) INDIVIDUAL UNITS WITHIN THE (42) PROPOSED DUPLEX/TWIN HOME BUILDINGS. OVERALL PROPOSED DENSITY WILL BE 4.96 UNITS PER ACRE WHICH IS CLOSE TO THE ALLOWED DENSITY WITHIN THE CURRENT RS-4 ZONING AND BELOW THE MAXIMUM DENSITY OF THE REQUESTED RM-5 ZONING. EXISTING PUBLIC SEWER, WATER, AND STORM ARE LOCATED ADJACENT TO THIS PARCEL AND THE PUBLIC UTILITIES SHALL BE UTILIZED FOR THIS PROPOSED DEVELOPMENT. WATER IS AVAILABLE FROM BATHABARA ROAD AND SEWER AND STORMWATER CONNECTIONS ARE EXISTING ON EDGEHARE ROAD TO THE WEST OF THE SITE. PER WSDOT COMMENTS ROADWAY IMPROVEMENTS ALONG BETHABARA ROAD ARE PROPOSED ON THIS SITE PLAN ALONG WITH A 40' RIGHT-OF-WAY DEDICATION FROM THE CENTERLINE OF BETHABARA ROAD.

Tree Save Area Summary Calculations - To Be Used In Conjunction With the Inspections Division Landscaping and Tree Preservation Checklist

New Development	Additions to Existing Development
Total Site Size (in Square Feet): 1,510,350	Total Limits of Land Disturbance (in Square Feet):
Total Site Area Excluded From TSA: Square Feet of Proposed R.O.W.'s: 2 + Square Feet of Existing Utility Easements: 2 + Square Feet of Existing Water Bodies and Stormwater Ponds: 1 = 48,205	
Minimum Tree Save Area Required: X, 10% = 12%	
Total Required Tree Save Area (in square feet): Total Site Size or Total Limits of Land Disturbance - Excluded Area X	
Minimum TSA (10%): 68,869 S.F.	

Individual Trees Method Used:	Tree Stand Method Used:	New Trees Used For TSA Credit:
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Number of Trees 8-9" DBH: X 300sf =	List the Area of Each Tree Stand Being Saved: 1078 + 45,025 S.F.	Number of Large Variety Trees Planted: 22 X 750sf = 15,000
Number of Trees 9.01-12" DBH: X 750sf =	Describe Each Tree Stand (Age, Health, Species Mix)	
Number of Trees 12.01-24" DBH: X 1800sf =	MIXTURE OF MATURE HARDWOOD, DECIDUOUS, LARGE VARIETY TREES AND MATURE EVERGREEN PINE AND CEDAR WITHIN BOTH TREE SAVE AREAS.	
Number of Trees 24.01-36" DBH: X 3000sf =		
Number of Trees Larger Than 36.01" DBH: X 4000sf =		
Total Square Footage of Individual Trees Used to Satisfy Minimum TSA: 0 S.F.	Total Square Footage of Tree Stands Being Saved to Satisfy Minimum TSA: 62,078 S.F.	Total Square Footage of New Trees Planted to Satisfy Minimum TSA: 15,000
Total Required TSA (in Square Feet): 68,869 S.F.	Total TSA provided (in Square Feet): 77,078 S.F.	



**Living Word Fellowship:
 Duplexes/Twin Homes**
 Bathabara Road
 Winston-Salem, North Carolina

Date: 3/29/21
 Rezoning Pre-Submittal

Revisions:	
4/6/21	Pre-submittal Comments
4/29/21	City Comments

Drawn By: PF
 Checked By: GJM
 Project #: