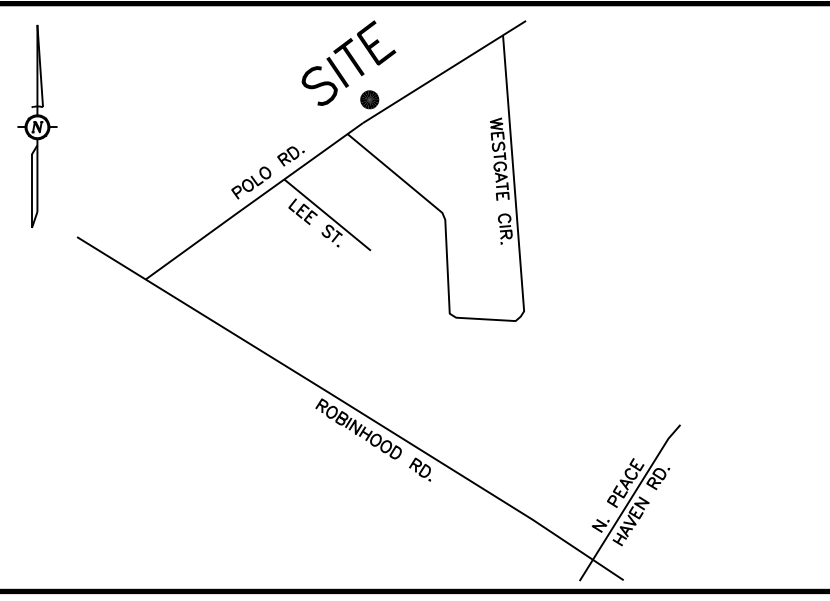


LEGEND

	UTILITY POLE		SD — STORM WATER LINE
	GUY ANCHOR		SS — SANITARY SEWER LINE
	LIGHT POLE		100 — 100 YEAR FLOOD ZONE
	ELECTRIC OUTLET		500 — 500 YEAR FLOOD ZONE
	ELEC. SERVICE/VAULT		FW — COMMUNITY FLOODWAY
	ELECTRICAL CABINET		OHW — OVERHEAD WIRES
	HEATING/AIR UNIT		E — BURIED ELECTRIC LINE
	TELEPHONE PEDESTAL		G — BURIED GAS LINE
	TELEPHONE MANHOLE		T — BURIED TELECOM. LINE
	TELEPHONE VAULT		W — BURIED WATER LINE
	GAS VALVE		MFL — METAL FENCE LINE
	GAS METER		WFL — WOODEN FENCE LINE
	WATER VALVE		TL — TREE LINE
	WATER METER		IPF = IRON PIPE FOUND
	IRRIGATION CONTROL VALVE		RBF = IRON REBAR FOUND
	BACKFLOW PREVENTOR		PKF = MAGNETIC NAIL FOUND
	WATER VALVE MANHOLE		XF = CHISLED 'X' FOUND
	FIRE HYDRANT		RWDF = NCDOT R/W DISK FOUND
	POST INDICATOR VALVE		IPS = IRON PIPE SET
	FIRE DEPT. CONNECTION		PKS = MAGNETIC NAIL SET
	WELL		XS = CHISLED 'X' SET
	SANITARY MANHOLE		CP = COMPUTED POINT (NO CORNER MONUMENT FOUND OR SET)
	SANITARY CLEANOUT		R/W = RIGHT OF WAY
	CONCRETE CATCH BASIN		N/F = NOW OR FORMERLY
	CAST IRON CATCH BASIN		ESMT = EASEMENT
	DROP INLET w/ GRATE		H/C = HANDICAP
	CONCRETE YARD DRAIN		Ch = CHORD
	STORM MANHOLE		Typ. = TYPICAL
	PIPE END / FLARED END		CL = CENTERLINE
	SIGN		POB = POINT OF BEGINNING
	MAIL BOX		POC = POINT OF COMMENCEMENT
	BOLLARD		T/C = TOP OF CURB
			FFE = FINISHED FLOOR ELEVATION
			INV = INVERT ELEVATION
			TEMP. BENCH MARK



LEG TABLE:

LINE	BEARING	DISTANCE
L1	S 54°59'18" W	85.89'
L2	N 35°54'15" W	2.04'



UNLESS SIGNED, SEALED AND DATED, THIS IS A PRELIMINARY PLAN NOT FOR RECORDING, SALES OR CONVEYANCES.

SSM
SACKS SURVEYING & MAPPING, P.C.

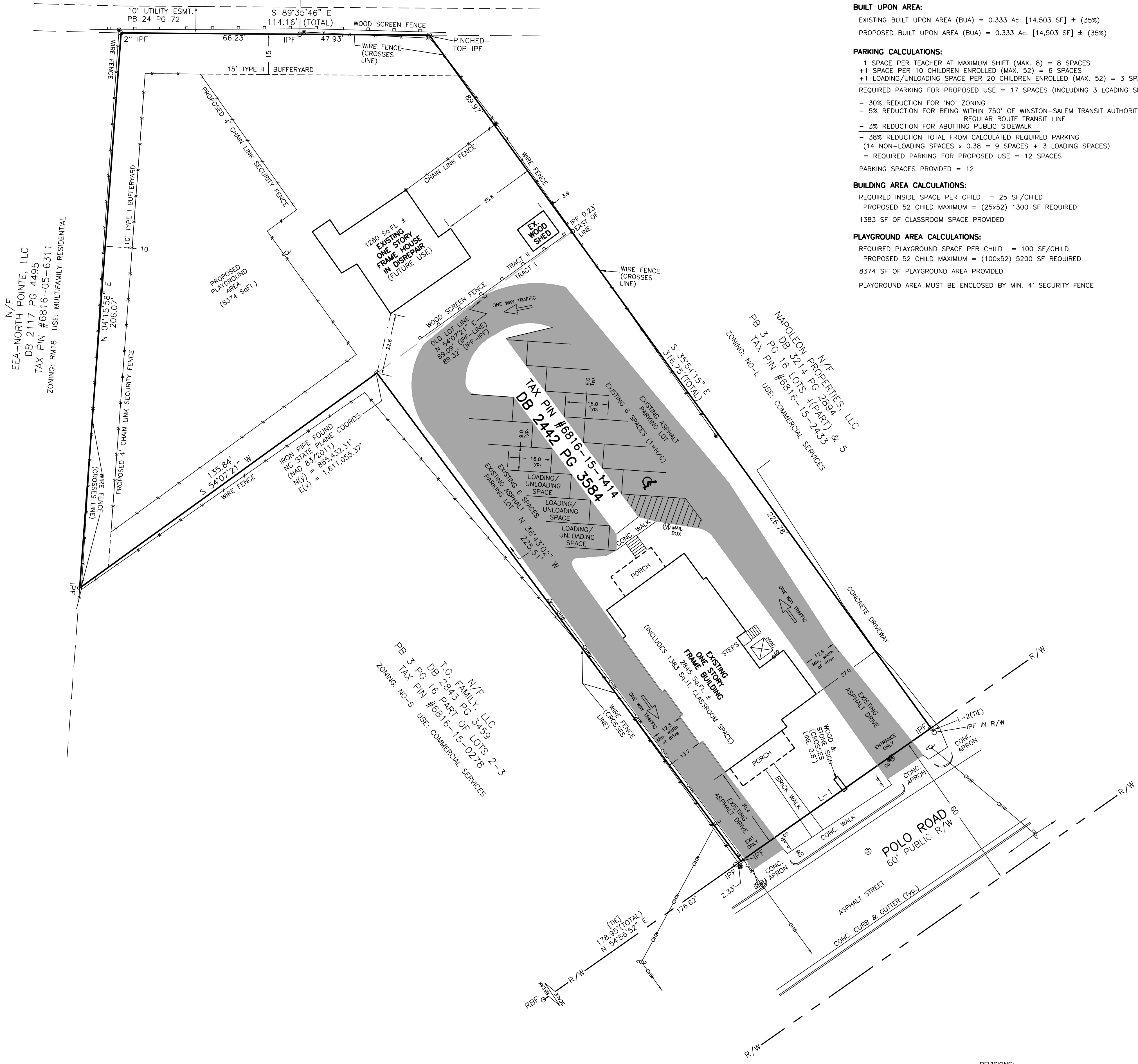
Land Surveyors
3308-B Edgeland Road
Greensboro, NC 27409
(336) 931-0566
FAX: 931-0568
WWW.SSMLAND
FIRM LIC #C-2741

NC GRID (NAD 83/2011)

FOXHALL SUBDIVISION, SECTION 5 PB 24 PG 72

ZONING: RS9 USE: RESIDENTIAL
LOT 7
TAX PIN # 6816-05-9683

ZONING: RS9 USE: RESIDENTIAL
LOT 6
TAX PIN # 6816-15-0683



PROPERTY DATA:

APPARENT SOURCE OF TITLE: DB 2442 PG 3584
PLAT REFERENCE: PB 3 PG 16 PART OF LOTS 2-4
TAX PIN #6816-15-1414
TOTAL SITE AREA: 0.956 ACRES [41,638 SF], MORE OR LESS
CURRENT ZONING: NO-S USE: COMMERCIAL SERVICES

ACCORDING TO FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL #3710681600-K, EFFECTIVE 02 JANUARY, 2009, THIS PROPERTY DOES NOT LIE WITHIN THE FEMA 100-YEAR OR ANY OTHER SPECIAL HAZARD FLOOD ZONES.

BUILT UPON AREA:

EXISTING BUILT UPON AREA (BUA) = 0.333 Ac. [14,503 SF] ± (35%)
PROPOSED BUILT UPON AREA (BUA) = 0.333 Ac. [14,503 SF] ± (35%)

PARKING CALCULATIONS:

1 SPACE PER TEACHER AT MAXIMUM SHIFT (MAX. 8) = 8 SPACES
+1 SPACE PER 10 CHILDREN ENROLLED (MAX. 52) = 6 SPACES
+1 LOADING/UNLOADING SPACE PER 20 CHILDREN ENROLLED (MAX. 52) = 3 SPACES
REQUIRED PARKING FOR PROPOSED USE = 17 SPACES (INCLUDING 3 LOADING SPACES)

- 30% REDUCTION FOR 'NO' ZONING
- 5% REDUCTION FOR BEING WITHIN 750' OF WINSTON-SALEM TRANSIT AUTHORITY REGULAR ROUTE TRANSIT LINE
- 3% REDUCTION FOR ABUTTING PUBLIC SIDEWALK
- 38% REDUCTION TOTAL FROM CALCULATED REQUIRED PARKING (14 NON-LOADING SPACES x 0.38 = 9 SPACES + 3 LOADING SPACES)
= REQUIRED PARKING FOR PROPOSED USE = 12 SPACES

PARKING SPACES PROVIDED = 12

BUILDING AREA CALCULATIONS:

REQUIRED INSIDE SPACE PER CHILD = 25 SF/CHILD
PROPOSED 52 CHILD MAXIMUM = (25x52) 1300 SF REQUIRED
1383 SF OF CLASSROOM SPACE PROVIDED

PLAYGROUND AREA CALCULATIONS:

REQUIRED PLAYGROUND SPACE PER CHILD = 100 SF/CHILD
PROPOSED 52 CHILD MAXIMUM = (100x52) 5200 SF REQUIRED
8374 SF OF PLAYGROUND AREA PROVIDED
PLAYGROUND AREA MUST BE ENCLOSED BY MIN. 4' SECURITY FENCE

NOTES:

THE PURPOSE OF THIS SITE PLAN IS TO FACILITATE THE REZONING OF THIS PROPERTY FROM NO-S TO NO WITH USE AS A CHILD CARE CENTER.

ALL BOUNDARY INFORMATION IS SHOWN PER A SURVEY OF THIS PROPERTY BY SACKS SURVEYING & MAPPING DATED 11 OCTOBER, 2022.

SAID SURVEY WAS PREPARED WITHOUT REFERENCE TO A TITLE COMMITMENT. THERE MAY BE EASEMENTS, RIGHTS-OF-WAY, OR OTHER MATTERS AFFECTING THIS PROPERTY WHICH ARE NOT SHOWN.

ALL DEEDS AND MAPS NOTED HEREON WERE USED AS REFERENCES IN PREPARING SAID SURVEY. SEE ALSO:
+ CITY OF WINSTON-SALEM ENGINEERING PLANS FOR THE WIDENING OF POLO ROAD [DRAWING #1-1769]

THE SITE BOUNDARY WAS ORIENTED TO N.C. GRID NORTH (NAD 83/2011) USING SPECTRA PRECISION SP-80 GPS EQUIPMENT, HOLDING LOCAL CORS STATIONS AS A FIXED HORIZONTAL REFERENCE. COORDINATES WERE ESTABLISHED USING A WEIGHTED LEAST SQUARES ADJUSTMENT OF THREE INDEPENDENT OBSERVATIONS.

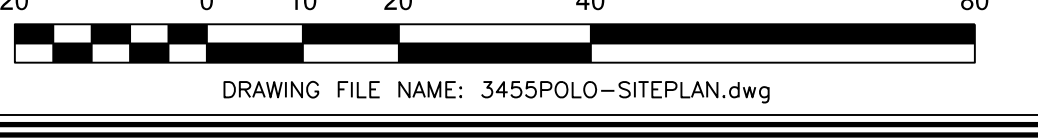
Class of Survey: A
Positional Accuracy: 0.02' Horiz. / N/A Vert.
Type of GPS Field Procedure: Rapid Static (RS)
Date of Survey: 27 September, 2022
Datum/EPOCH: NAD 83 (2011)
Published/used-control used: Local CORS Stations
Geoid Model: Geoid 18
Combined grid factor: 0.99994658
Units: US Survey Feet

ALL DISTANCES ARE HORIZONTAL GROUND MEASUREMENTS UNLESS NOTED OTHERWISE.

THERE MAY BE IMPROVEMENTS TO THIS PROPERTY NOT SHOWN HEREON ANY UNDERGROUND IMPROVEMENTS ARE SHOWN HEREON BASED ON SURFACE EVIDENCE ONLY. THIS SURVEYOR CANNOT CERTIFY TO NOR ACCEPT LIABILITY FOR THE PRESENCE AND OR LOCATION OF BURIED OR OTHERWISE NON-VISIBLE IMPROVEMENTS TO THIS SITE.

REZONING SITE PLAN
POLO KIDS PRESCHOOL
3455 POLO ROAD
DEED BOOK 2442 PAGE 3584
TAX PIN #6816-15-1414

CITY OF WINSTON-SALEM
FORSYTH COUNTY, NORTH CAROLINA
DATE PREPARED: 27 OCTOBER, 2022
SCALE 1 INCH = 20 FEET



REVISIONS:
11-17-22 - PER REVIEW COMMENTS

DRAWING FILE NAME: 3455POLO-SITEPLAN.dwg